

75c Broadway  
Project Location

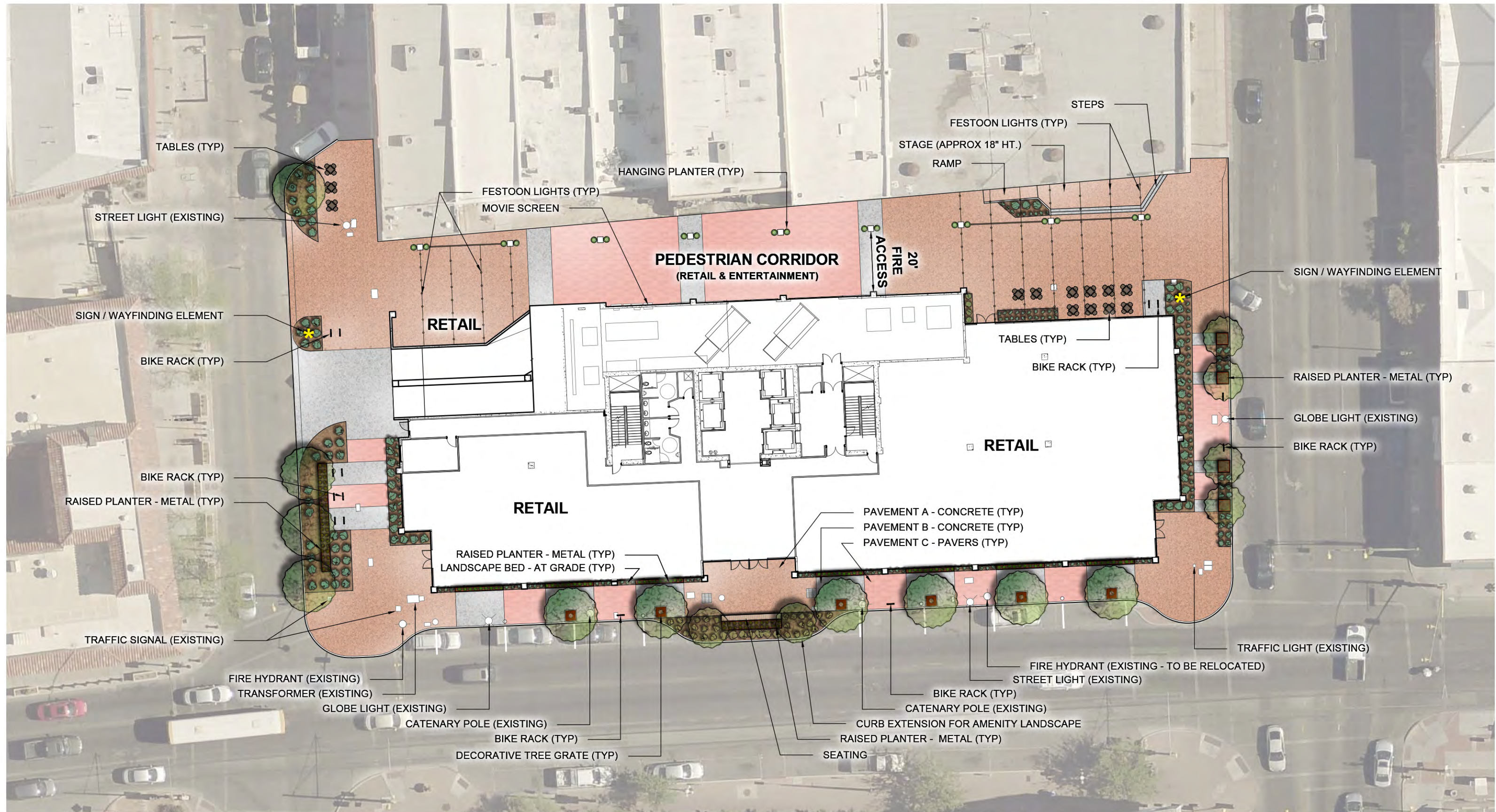




756 BROADWAY  
ADJACENT HISTORIC  
RESOURCES

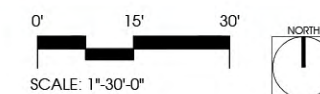


# SITE PLAN CONCEPT | PRE-APP DISCUSSION



75 E BROADWAY

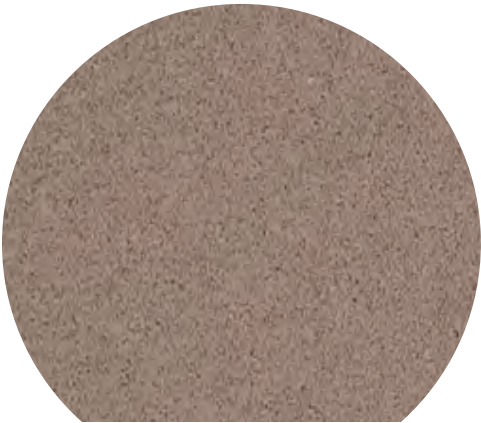
PROJECT: SWM-07 DATE: 05/16/19  
FILE NAME: SWM-07 STREETSCAPECONCEPT\_051419.DWG



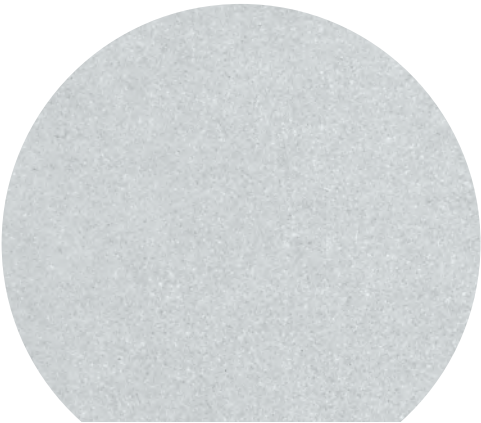


# 75 E BROADWAY ILLUSTRATIVE IMAGERY AND MATERIALS

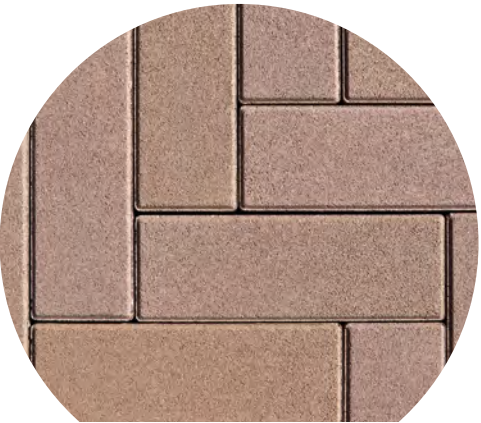
5.16.19



**PAVEMENT A | CONCRETE**  
EARTH TONE COLOR  
SAND FINISH



**PAVEMENT B | CONCRETE**  
NEUTRAL GREY  
SMOOTH FINISH



**PAVEMENT C | PAVERS**  
TO COMPLEMENT  
BUILDING MASONRY



**METAL PLANTER**  
TO MATCH TEP



**FOUNDATION LANDSCAPE  
AT GRADE**  
TO MATCH SCOTT AVE



**TREE GRATE**  
WEATHERED STEEL



**OUTDOOR DINING**  
WITHIN AND ADJACENT  
TO PEDESTRIAN CORRIDOR



**MOVIE SCREEN/PANEL**  
FOR MOVIES IN THE  
PEDESTRIAN CORRIDOR



**HANGING PLANTERS**  
WITHIN PEDESTRIAN  
CORRIDOR



**LOW CONCRETE STAGE**  
WITHIN PEDESTRIAN  
CORRIDOR

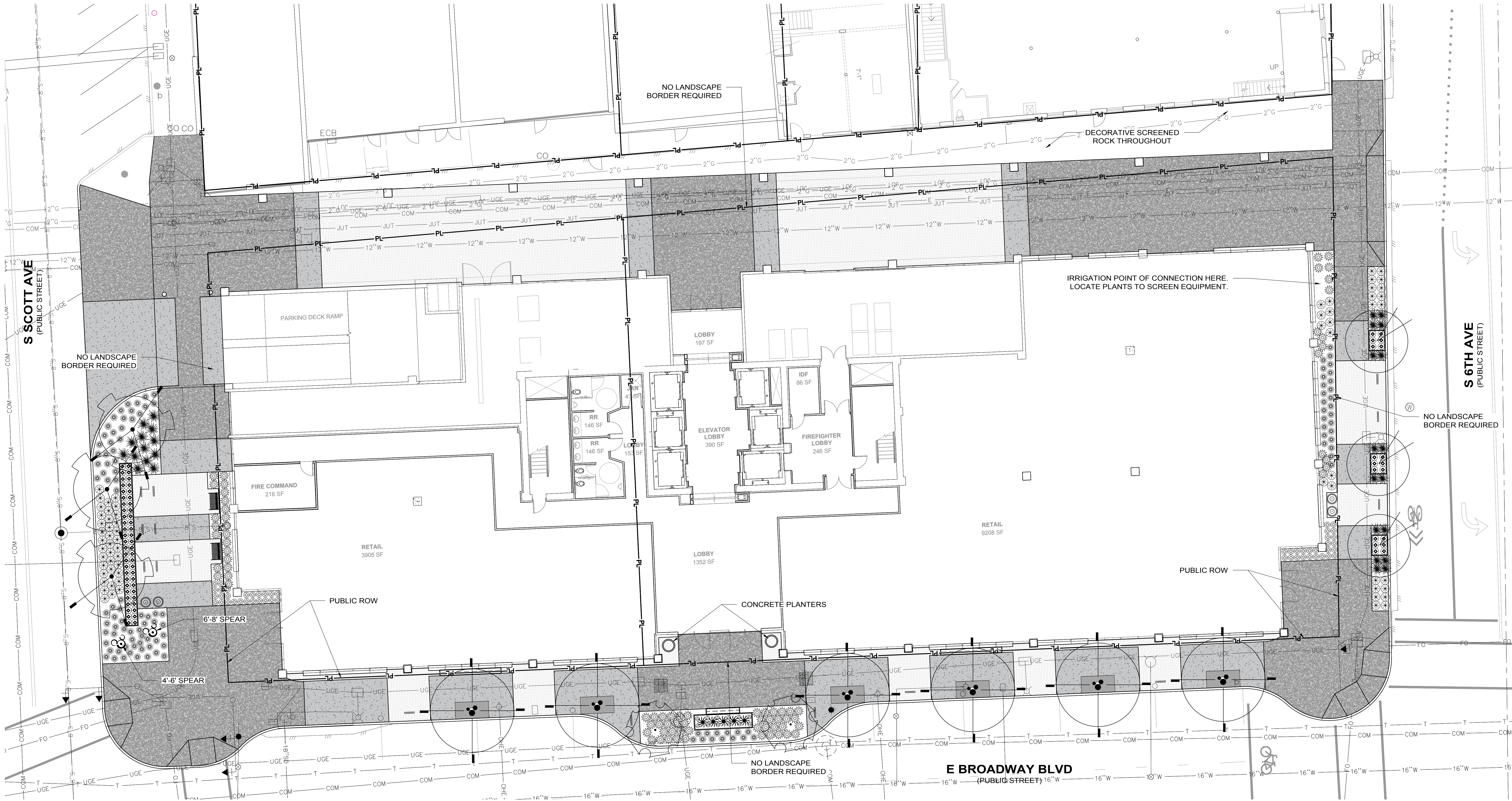


**FESTOON LIGHTING**  
WITHIN THE PEDESTRIAN  
CORRIDOR



**BIKE RACKS**  
CONTEMPORARY AESTHETIC





**PLANTING PLAN**  
SCALE 1" = 10'

**GENERAL LANDSCAPE NOTES**

- Sight visibility triangles: Plant material installed within the sight visibility triangles shall be maintained so as not to interfere with a visibility plane described as two horizontal lines at located at 30" and 72" above finished grade of the roadway surface.
- Plant size: Plant material shall be installed at the following minimum sizes: trees = 15 gal, shrubs/accents = 5 gal, groundcover/vines = 1 gal.
- Irrigation: Landscape will be irrigated by means of a permanent underground irrigation system operated by automatic controller. All water use for irrigation purposes will conform to the Arizona Groundwater Code, Arizona Revised Statutes Title 45, Chapter 2.
- Hardscape, landscape, and irrigation construction shall comply with these plans and City of Tucson standard specifications. Deviations from approved plans require landscape architect and City of Tucson approval prior to implementation.
- All City of Tucson and landscape architect inspections require a minimum advance notice of 48 hours. A substantial completion inspection by owner's authorized representative will be conducted and all deficiencies listed. Separate inspections may be required for backflow prevention assemblies and electrical work. Contractor shall rectify all deficiencies prior to final inspection by owner's authorized representative and City of Tucson.
- All equipment, materials, labor, and transportation not indicated or explicitly specified by these plans or City of Tucson standard specifications, but required for the execution of the work shall be supplied by the contractor and are considered incidental to the work.
- Project maintenance shall be the responsibility of the developer and/or its successors.
- All walls, fences, signs and gates require separate permits.
- All screen and decorative walls must be constructed of graffiti resistant materials.
- Project maintenance shall be the responsibility of the developer and/or its successors.
- Dust control: all disturbed, graded or bladed areas not otherwise improved with vegetation shall be treated with an approved dust control agent to reduce dust pollution. All landscape and open areas throughout the project boundary (both on private property and in the ROW) must receive decorative screened rock at a 2" depth. Ground surfaces in planting beds, planters, medians, or tree under story within a landscaped area that are not covered with vegetation shall be treated with the same inorganic ground cover. Decorative rock shall extend under shrubs and vegetative groundcover. Top of decorative rock shall be 1" below adjacent edging, curbing, paving, etc.

- All landscape areas shall comply with requirements of UDC 7.6.4
- All plant material and specifications shall conform to Arizona Nursery Association standards. Plants shall be quality material (healthy, vigorous, free of insects, free of injury/damage) and demonstrate standard growth habit for the species. The owner/architect reserve the right to refuse any plant materials they deem unacceptable.
- Contractor shall submit all material substitutions for owner/architect review and approval prior to installation.
- The site shall be graded per Civil Plans. Landscape Contractor shall be responsible for incidental grading. Landscape areas shall be smooth and free of rocks, debris, and pock marks prior to installation of plant material. Grading shall ensure that water drains away from structures. Landscape areas shall be graded to ensure that finished grade plus 2" depth or decorative rock mulch shall be 1" below adjacent edging, curbing, paving, etc.
- Plantings shall be backfilled with native soil. Contractor to ensure that landscape areas are free from construction contamination.

**LANDSCAPE IN RIGHT-OF-WAY(ROW) NOTES**

- It is the owner's responsibility to keep the Sight Visibility Triangles (SVT), and the pedestrian access area clear of vegetation at all times, per Unified Development Code (UDC) section.
- It is the owner responsibility to keep a 5' wide by 7' tall clear pedestrian access open across the entire property.
- It is the owner responsible to keep vegetation from growing past the curb line clear, and keep a 15' high clear zone over the travel lane.
- Final plant locations must be in compliance with all utility setback requirements.
- The owner understands that if the City of Tucson Transportation Department or any utility company needs to work within the ROW in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)
- Contractor to obtain a Right Of Way permit prior to construction within the right-of-way.

**PLANT LEGEND**

	BOTANICAL NAME	SIZE	QTY
TREES			
	CHILOPSIS LINEARIS 'SWEET KATIE BURGUNDY'	36" BOX	2
	SWEET KATIE BURGUNDY DESERT WILLOW		
	CELTIS RETICULATA	48" BOX	6
	NETLEAF HACKBERRY		
	PARKINSONIA MICROPHYLLA	36" BOX	3
	FOOTHILLS PALO VERDE		
	PARKINSONIA PREACOX	48" BOX	3
	PALO BREA		
SHRUBS AND ACCENTS			
	AGAVE 'BLUE GLOW'	15 Gal.	5
	BLUE GLOW AGAVE		
	ALOE 'BLUE ELF'	5 Gal.	50
	BLUE ELF ALOE		
	ASCLEPIA SUBULATA	15 Gal.	29
	DESERT MILKWEED		
	CARNEGIA GIGANTEA	Size Per Plan	2
	SAGUARO		
	DALEA CAPITATA SIERRA GOLD	5 Gal.	12
	GOLDEN DALEA		
	EUPHORBIA ANTISYPHILITICA	5 Gal.	112
	CANDELLILA		
	HESPERALOE PARVIFLORA 'PERPA'	5 Gal.	70
	BRAKELIGHTS HESPERALOE		
	HESPERALOE X 'PERFU' PP PINK PARADE	15 Gal.	77
	PINK PARADE HESPERALOE		
	YUCCA RUPICOLA	5 Gal.	65
	TWIST LEAF YUCCA		

**INERT GROUND COVER (MULCH)**

- NOT SHOWN DECORATIVE ROCK: INSTALL IN ALL AT GRADE LANDSCAPE AREAS. SIZE = 1" SCREENED, COLOR = "APACHE BROWN" BY KALAMAZOO MATERIALS, OR APPROVED EQUAL. MINIMUM DEPTH OF 2".
- NOT SHOWN DECOMPOSED GRANITE: INSTALL IN ALL PLANTERS. SIZE = 1/4" MINUS, COLOR = "APACHE BROWN" BY KALAMAZOO MATERIALS, OR APPROVED EQUAL. MINIMUM DEPTH OF 2".

**POTTED PLANTS**

- EACH CONCRETE PLANTER SHALL FEATURE:
- PEDILANTHUS MACROCARPUS IN CENTER OF PLANTER (QTY=1, SIZE=5 GAL.)
  - MELAMPODIUM LEUCANTHUM AT FRONT OF PLANTER (QTY=4, SIZE=1 GAL.)
  - BERLANIERA LYRATA AT BACK OF PLANTER (QTY=2, SIZE=1 GAL.)

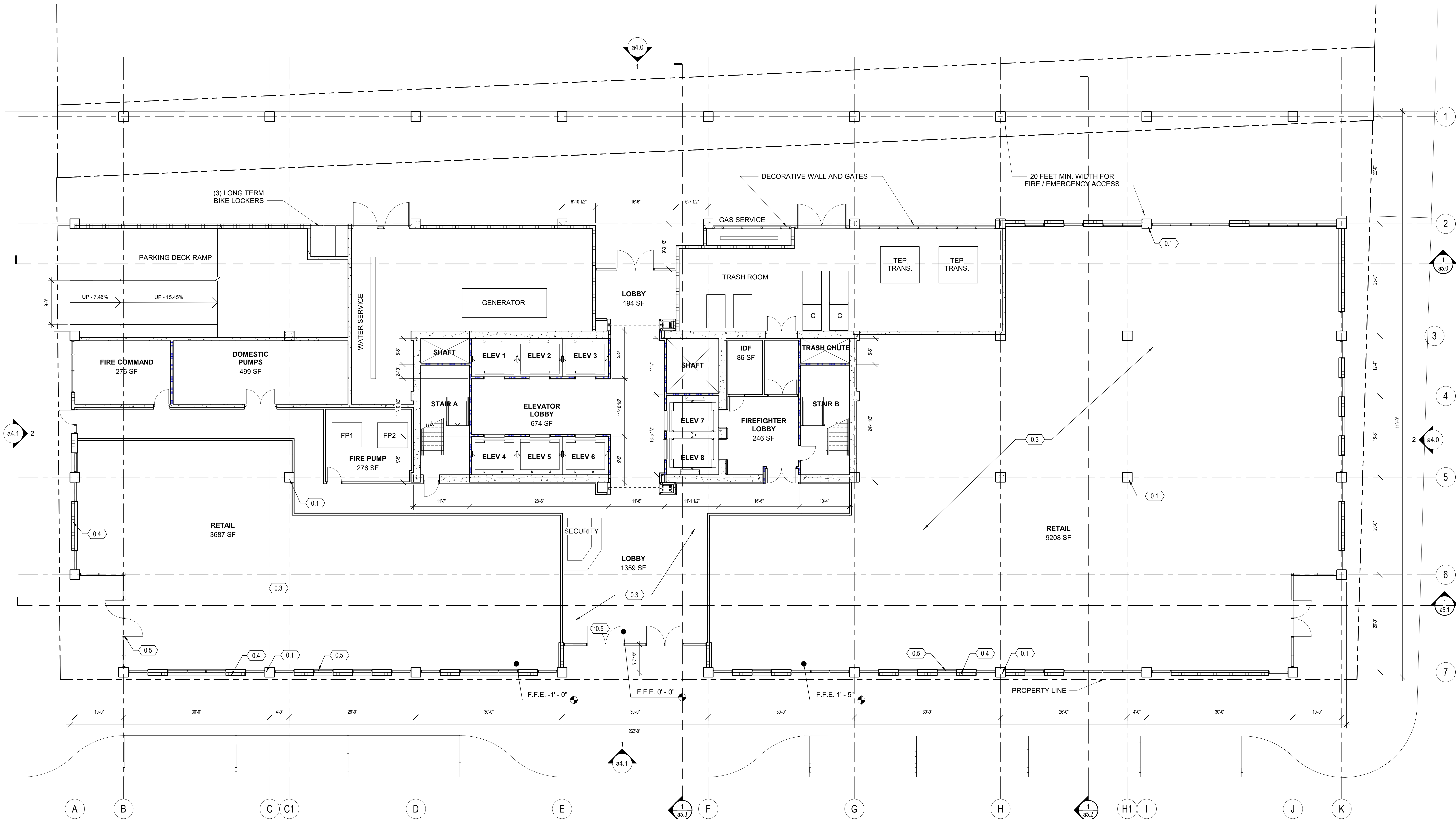




**Full Block  
CONCEPT**

- KEY**
- FLOOR TENANT AREA
  - FLOOR COMMON AREA
  - BUILDING COMMON AREA
  - VERTICAL PENETRATION
  - PARKING GARAGE





1  
a1.0  
1st floor retail - reference floor plan  
1/8" = 1'-0"

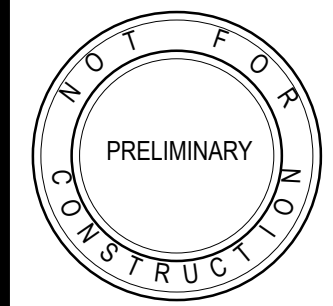


keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.
- 0.3 CAST IN PLACE CONCRETE SLAB ON GRADE
- 0.4 INTEGRAL COLOR CMU.
- 0.5 1" CLEAR INSULATED GLAZING IN STOREFRONT FRAMING SYSTEM.

general notes

- EXTERNAL WALLS
  - A. 6" x 18/20 GA. METAL STUDS @ 16" O.C.
  - B. BATT INSULATION R-19 WITH FOIL FACING
  - C. 5/8" GLASS MATT SHEATHING
  - D. FLUID APPLIED WATER BARRIER
  - E. FINISH OPTIONS PER NOTES
  - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
- ROOFING
  - A. TAPERED INSULATION, MIN 20, WITH 80 MIL. PVC ROOFING SYSTEM, 30 YEAR WARRANTY. SLOPE TO INTERNAL DRAINS.
  - B. ROOF DECK PAVER SYSTEM - TILE TECH COOL-ROOF SERIES WITH ADJUSTABLE PEDESTALS.
  - C. PROVIDE ROOFTOP ACCOMODATIONS FOR WINDOW WASHING EQUIPMENT.
- WINDOWS / ENTRANCES
  - A. THERMALLY BROKEN ANODIZED 6" ALUMINUM
  - B. 1" INSULATED GLAZING, PPG Z75, SPANDREL GLASS - 60%, USE PYROLYTIC SELF CLEANING GLASS COATING
  - C. INDUSTRIAL SLIDERS @ APARTMENTS, SOME OPERABLE UNITS ELSEWHERE.
  - D. EXTERIOR SYSTEMS MAY BE SLAB TO SLAB WITH SLAB EDGE CONSLURE OR A CURTAIN WALL SYSTEM.
- EXTERIOR HOLLOW METAL FRAMES & DOORS - 16 GA. LEVEL 3
- INTERIOR FRAMES - ALUMINUM WESTERN INTEGRATED WITH TRANSOM & SIDELITES
- WOOD DOORS - PLASTIC LAMINATE CLAD & HARDWARE PREPARED.
- DOOR HARDWARE - ALLEGION CONTROLLED ACCESS ON DOORS.
- INTERIOR PARTITIONS - 3 5/8" & 6" x 20 GA. METAL FRAMING @ 16" O.C. SOUND BATTS & 5/8" GWB EACH SIDE WITH LEVEL 5
- FLOORS - PUBLIC AREAS: EPOXY TERRAZZO - MULTI-COLOR.
- TILE - 12x24, PORCELAIN TILE FLOORS & WALLS, FULL HEIGHT IN RESTROOMS. ACCENT TILES.
- ACOUSTICAL CEILINGS - ARMSTRONG LINEAR WOOD CEILING IN PUBLIC LOBBIES.
- RESTROOM PARTITIONS SHALL BE 1" HDPE. FULL COMPLIMENT OF TOILET ACCESSORIES.
- SIGNAGE - BUILDING NAME, BUILDING NUMBERS AND EACH DOOR WITH ROOM SIGNAGE, 6"x6" CAST ALUMINUM WITH LOGO.
- MAIN BUILDING DIRECTORY IN LOBBY - DIRECTIONAL SIGNAGE, EACH FLOOR.
- ELEVATORS
  - A. PASSENGER CARS RATED @ 4000 LBS, 500 FPM.
  - B. PASSENGER CAR DOORS 4'x7' CENTER OPENING.
  - C. TWO FIRE SERVICE CARS - 4,500 LB RATING, 500 FPM.
  - D. SERVICE SIZE DOORS 4'-6" W x 8' HIGH, OFFSET. CAB HEIGHT 9'-0".
  - E. CLASS A LOADING, ALL CARS.
- BALCONIES
  - A. ALUMINUM RAILING SYSTEM WITH GLASS INSERTS -48" HIGH.
  - B. DECK SYSTEM - EPOXY COATING SLOPE TO INTERNAL DRAIN SYSTEM. ALTERNATIVE SURFACE, TILE PER KEYNOTES.



job  
1727

date  
03.15.21

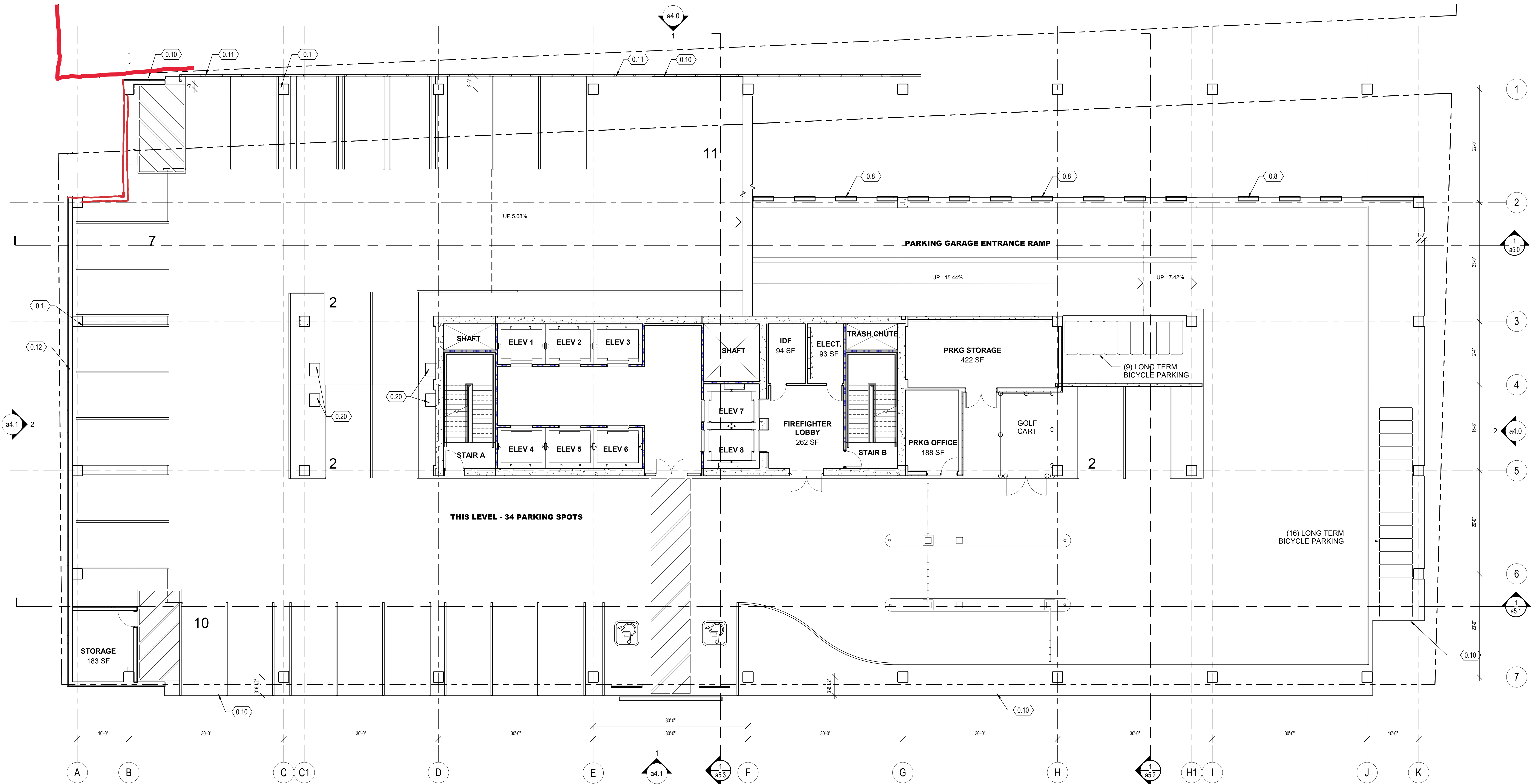
revisions

TUCSON GROUP HOLDINGS  
75 BROADWAY  
CORE & SHELL  
75 E. Broadway Blvd., Tucson, AZ 85701

ground floor plan - retail

a1.0





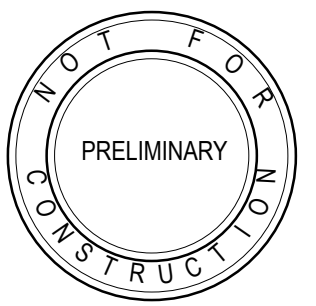
1 2nd floor reference floor plan  
1/8" = 1'-0"

keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.
- 0.8 EIFS WALL SYSTEM WITH INTEGRAL COLOR.
- 0.10 CRASH GUARD WITH CABLE RESTRAINT SYSTEM.
- 0.11 DECORATIVE PERFORATED METAL PANELS OVER METAL FRAMING.
- 0.12 RAINSCREEN SYSTEM #1 - ALUMINUM COMPOSITE METAL PANELS, MEMBRANE WATERPROOFING, GLASS-MAT GYPSUM SHEATHING, METAL STUD FRAMING, R-19 INSULATION, VAPOR BARRIED, 5/8" GYPSUM BOARD.
- 0.20 ELECTRIC CHARGING STATIONS.

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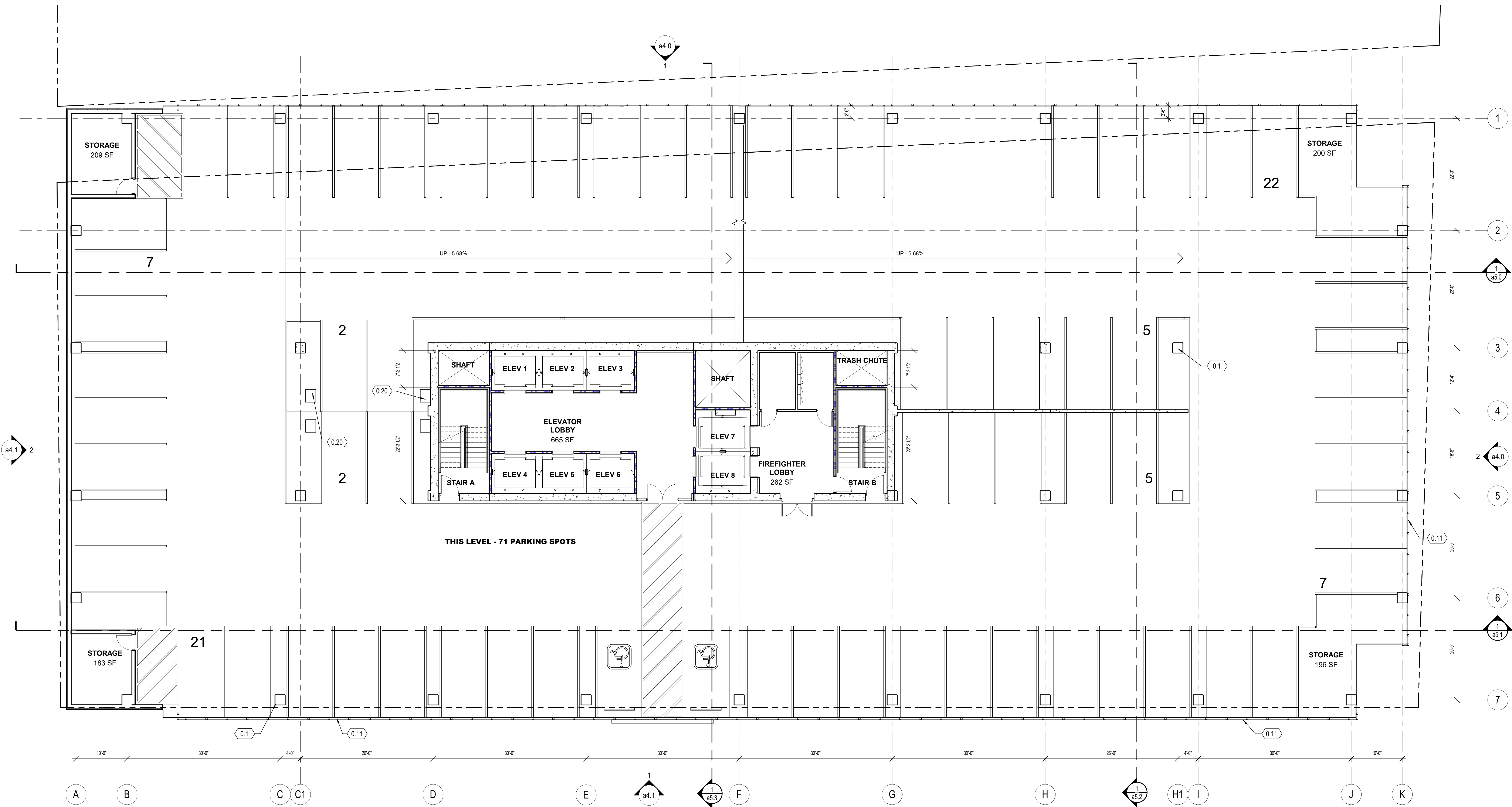
revisions

TUCSON GROUP HOLDINGS  
75 BROADWAY  
CORE & SHELL  
75 E. Broadway Blvd., Tucson, AZ 85701

2nd floor plan - parking entrance

a1.2





1  
a1.3  
1/8" = 1'-0"

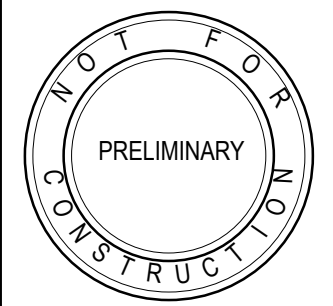
north

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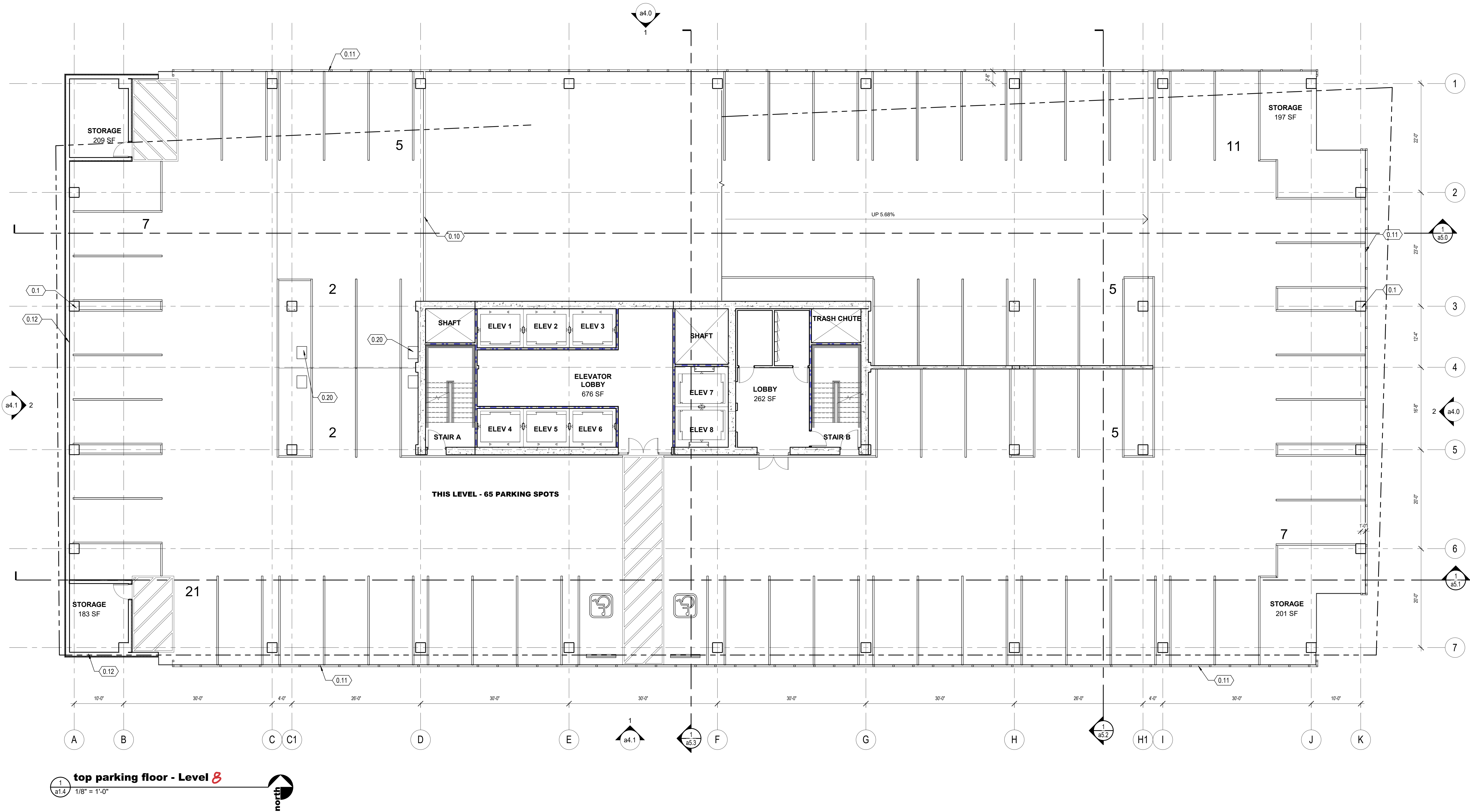
revisions

**TUCSON GROUP HOLDINGS**  
**75 BROADWAY**  
**CORE & SHELL**  
75 E. Broadway Blvd., Tucson, AZ 85701

**floor plan - typical parking**

**a1.3**



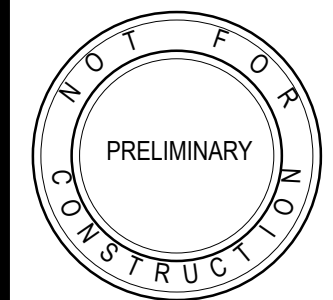


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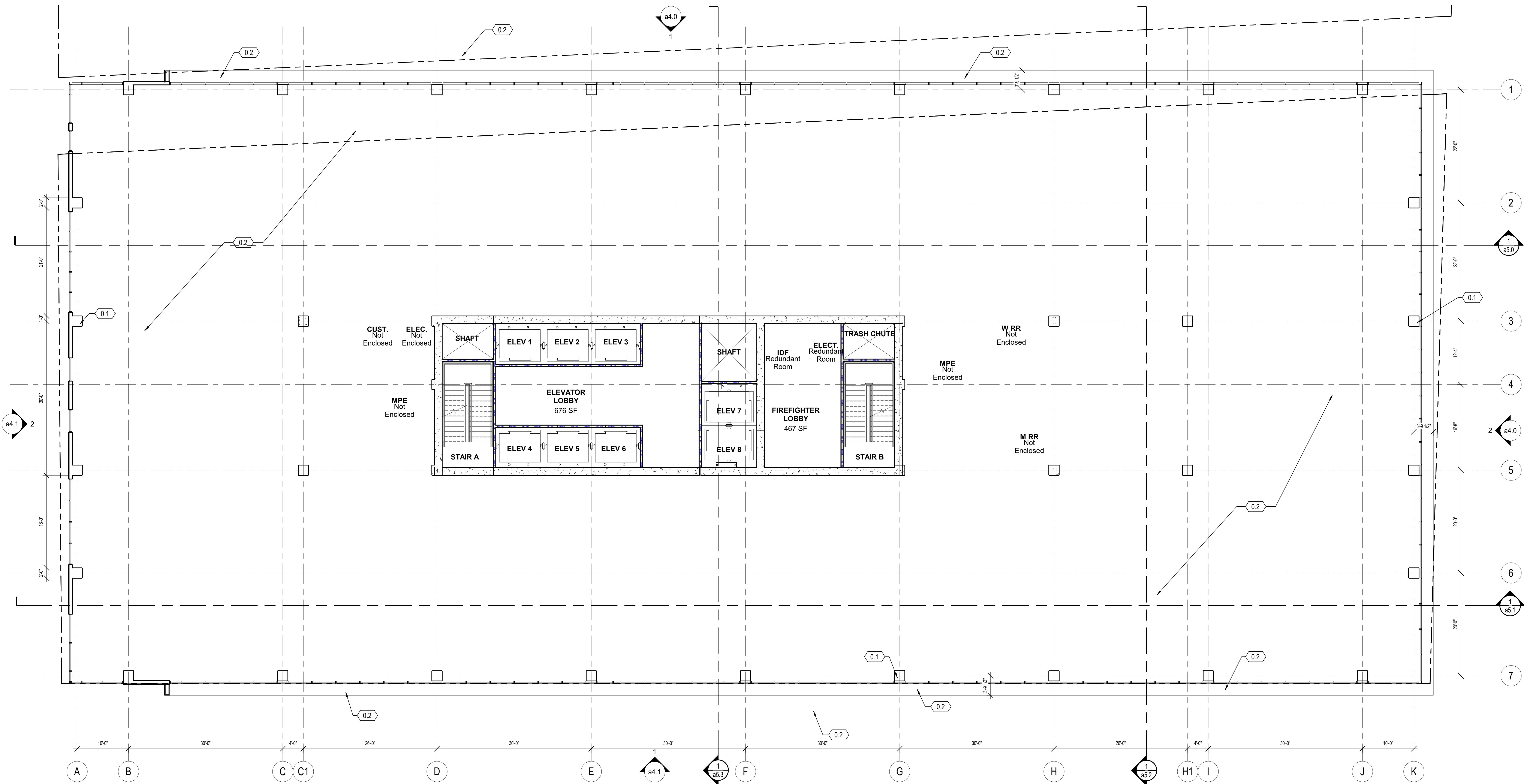
NO.	DESCRIPTION

**TUCSON GROUP HOLDINGS**  
**75 BROADWAY**  
**CORE & SHELL**  
75 E. Broadway Blvd., Tucson, AZ 85701

**8th floor plan - top parking**

**a1.4**





1  
a1.5  
typical office deck - level 9-13  
1/8" = 1'-0"

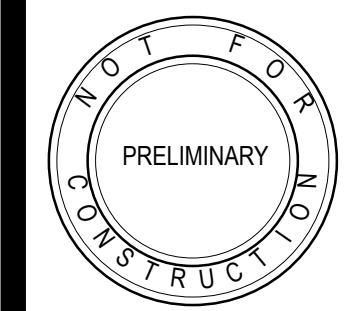
north

#### keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.  
0.2 POST-TENSIONED CONCRETE FLOOR SLAB

#### general notes

- EXTERNAL WALLS  
A. 6" x 18/20 GA. METAL STUDS @ 16" O.C.  
B. BATT INSULATION R-19 WITH FOIL FACING  
C. 5/8" GLASS MATT SHEATHING  
D. FLUID APPLIED WATER BARRIER  
E. FINISH OPTIONS PER NOTES  
F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
- ROOFING  
A. TAPERED INSULATION, MIN 20, WITH 80 MIL. PVC ROOFING SYSTEM, 30 YEAR WARRANTY, SLOPE TO INTERNAL DRAINS.  
B. ROOF DECK PAVER SYSTEM - TILE TECH COOL-ROOF SERIES WITH ADJUSTABLE PEDESTALS.  
C. PROVIDE ROOFTOP ACCOMODATIONS FOR WINDOW WASHING EQUIPMENT.
- WINDOWS / ENTRANCES  
A. THERMALLY BROKEN ANODIZED 6" ALUMINUM  
B. 1" INSULATED GLAZING, PPG Z75, SPANDREL GLASS - 60%, USE PYROLYTIC SELF CLEANING GLASS COATING  
C. INDUSTRIAL SLIDERS @ APARTMENTS, SOME OPERABLE UNITS ELSEWHERE  
D. EXTERIOR SYSTEMS MAY BE SLAB TO SLAB WITH SLAB EDGE CONSLURE OR A CURTAIN WALL SYSTEM.
- EXTERIOR HOLLOW METAL FRAMES & DOORS - 16 GA. LEVEL 3
- INTERIOR FRAMES - ALUMINUM WESTERN INTEGRATED WITH TRANSOM & SIDELITES
- WOOD DOORS - PLASTIC LAMINATE CLAD & HARDWARE PREPARED.
- DOOR HARDWARE - ALLEGION CONTROLLED ACCESS ON DOORS.
- INTERIOR PARTITIONS - 3 5/8" & 6" x 20 GA. METAL FRAMING @ 16" O.C. SOUND BATTS & 5/8" GWB EACH SIDE WITH LEVEL 5.
- FLOORS - PUBLIC AREAS: EPOXY TERRAZZO - MULTI-COLOR.
- TILE - 12x24, PORCELAIN TILE FLOORS & WALLS, FULL HEIGHT IN RESTROOMS. ACCENT TILES.
- ACOUSTICAL CEILINGS - ARMSTRONG LINEAR WOOD CEILING IN PUBLIC LOBBIES.
- RESTROOM PARTITIONS SHALL BE 1" HDPE. FULL COMPLIMENT OF TOILET ACCESSORIES.
- SIGNAGE - BUILDING NAME, BUILDING NUMBERS AND EACH DOOR WITH ROOM SIGNAGE, 6"x6" CAST ALUMINUM WITH LOGO.
- MAIN BUILDING DIRECTORY IN LOBBY - DIRECTIONAL SIGNAGE, EACH FLOOR.
- ELEVATORS  
A. PASSENGER CARS RATED @ 4000 LBS, 500 FPM.  
B. PASSENGER CAR DOORS 4'x7' CENTER OPENING.  
C. TWO FIRE SERVICE CARS - 4,500 LB RATINGS, 500 FPM.  
D. SERVICE SIZE DOORS 4'-6" W x 8' HIGH, OFFSET. CAB HEIGHT 9'-0".  
E. CLASS A LOADING, ALL CARS.
- BALCONIES  
A. ALUMINUM RAILING SYSTEM WITH GLASS INSERTS -48" HIGH.  
B. DECK SYSTEM - EPOXY COATING SLOPE TO INTERNAL DRAIN SYSTEM. ALTERNATIVE SURFACE, TILE PER KEYNOTES.



job  
**1727**

date  
**03.15.21**

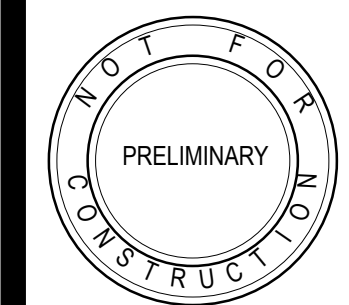
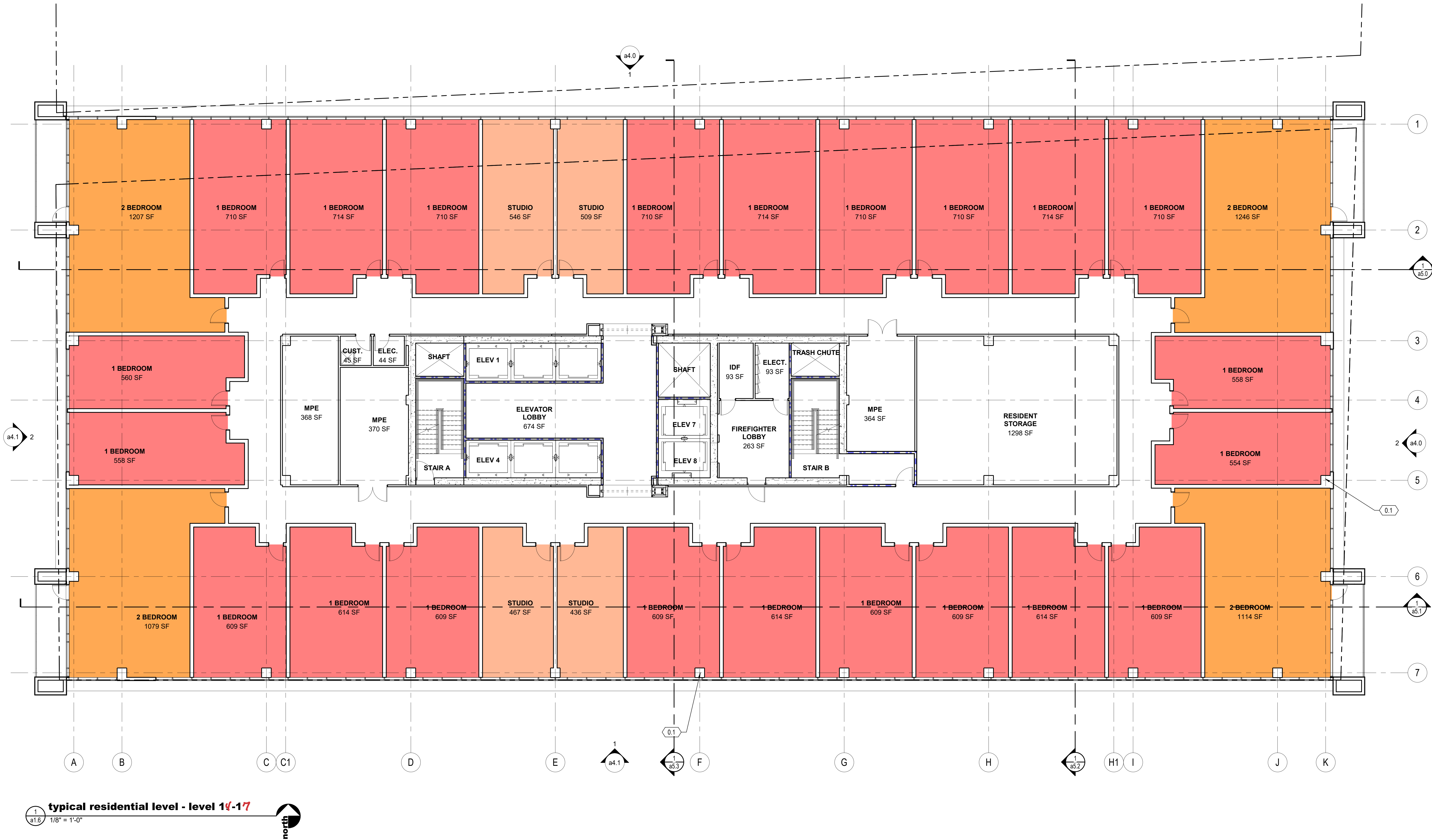
revisions

**TUCSON GROUP HOLDINGS**  
**75 BROADWAY**  
**CORE & SHELL**  
75 E. Broadway Blvd., Tucson, AZ 85701

9th floor plan - typical office

a1.5





job  
**1727**

date  
**03.15.21**

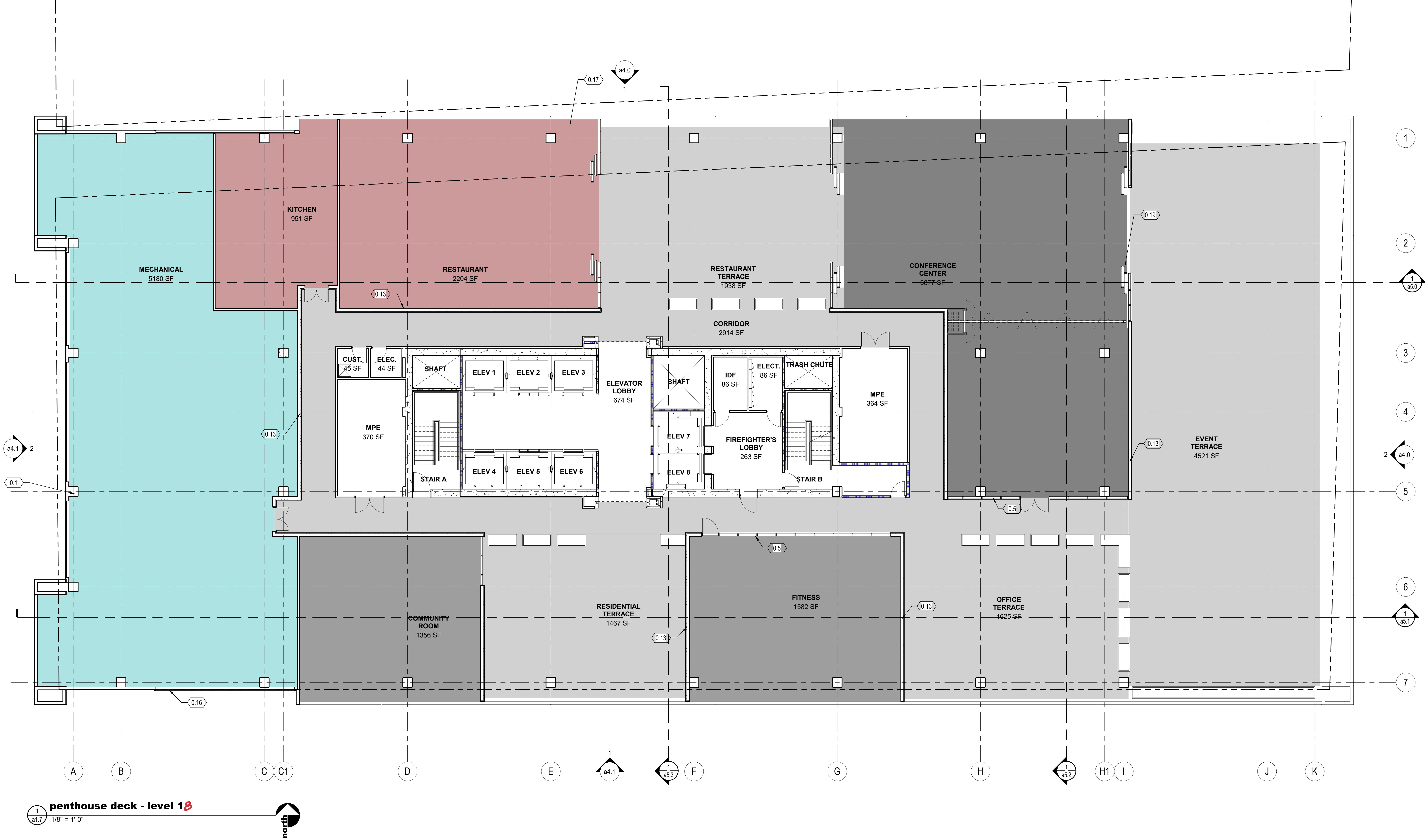
revisions

**TUCSON GROUP HOLDINGS**  
**75 BROADWAY**  
CORE & SHELL  
75 E. Broadway Blvd., Tucson, AZ 85701

**14th floor plan - typical residential**

**a1.6**



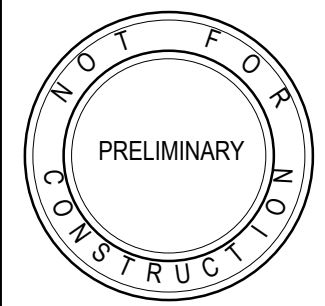


keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.
- 0.5 1" CLEAR INSULATED GLAZING IN STOREFRONT FRAMING SYSTEM.
- 0.13 RAINSCREEN SYSTEM #2 - FIBER CEMENT PANELS, MEMBRANE WATERPROOFING, GLASS-MAT GYPSUM SHEATHING, METAL STUD FRAMING, R-19 INSULATION, VAPOR BARRIED, 5/8" GYPSUM BOARD.
- 0.16 PRE-FINISHED MECHANICAL LOUVER.
- 0.17 GLASS GUARDRAIL SYSTEM.
- 0.19 NANA SLIDING WALL SYSTEM.

general notes

- EXTERNAL WALLS
  - A. 6" x 18/20 GA. METAL STUDS @ 16" O.C.
  - B. BATT INSULATION R-19 WITH FOIL FACING
  - C. 5/8" GLASS MATT SHEATHING
  - D. FLUID APPLIED WATER BARRIER
  - E. FINISH OPTIONS PER NOTES
  - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
- ROOFING
  - A. TAPERED INSULATION, MIN 20" WITH 80 MIL. PVC ROOFING SYSTEM, 30 YEAR WARRANTY. SLOPE TO INTERNAL DRAINS.
  - B. ROOF DECK PAVER SYSTEM - TILE TECH COOL-ROOF SERIES WITH ADJUSTABLE PEDESTALS.
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job  
**1727**

date  
**03.15.21**

revisions

**TUCSON GROUP HOLDINGS**  
**75 BROADWAY**  
**CORE & SHELL**  
75 E. Broadway Blvd., Tucson, AZ 85701

**18th floor plan - penthouse**

a1.7



Previous  
Concept  
12 Stories







job  
**1727**

date  
**05.06.19**

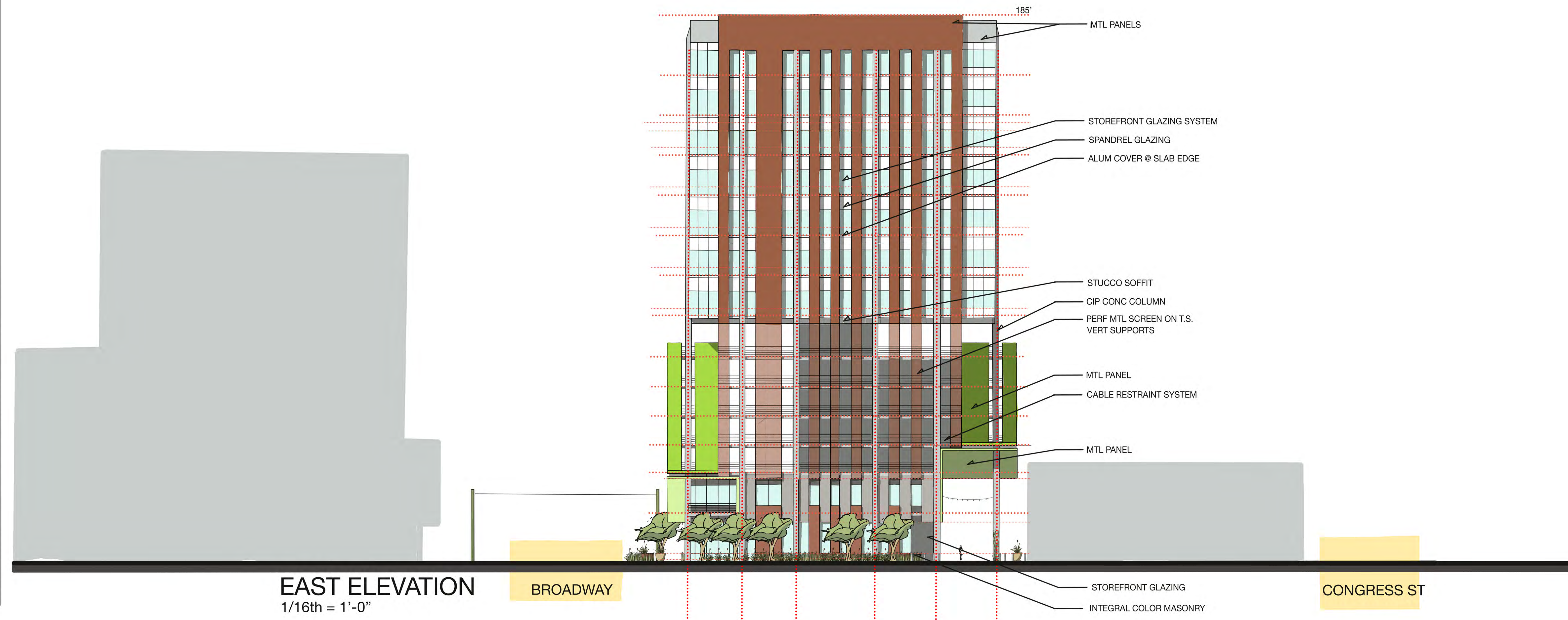
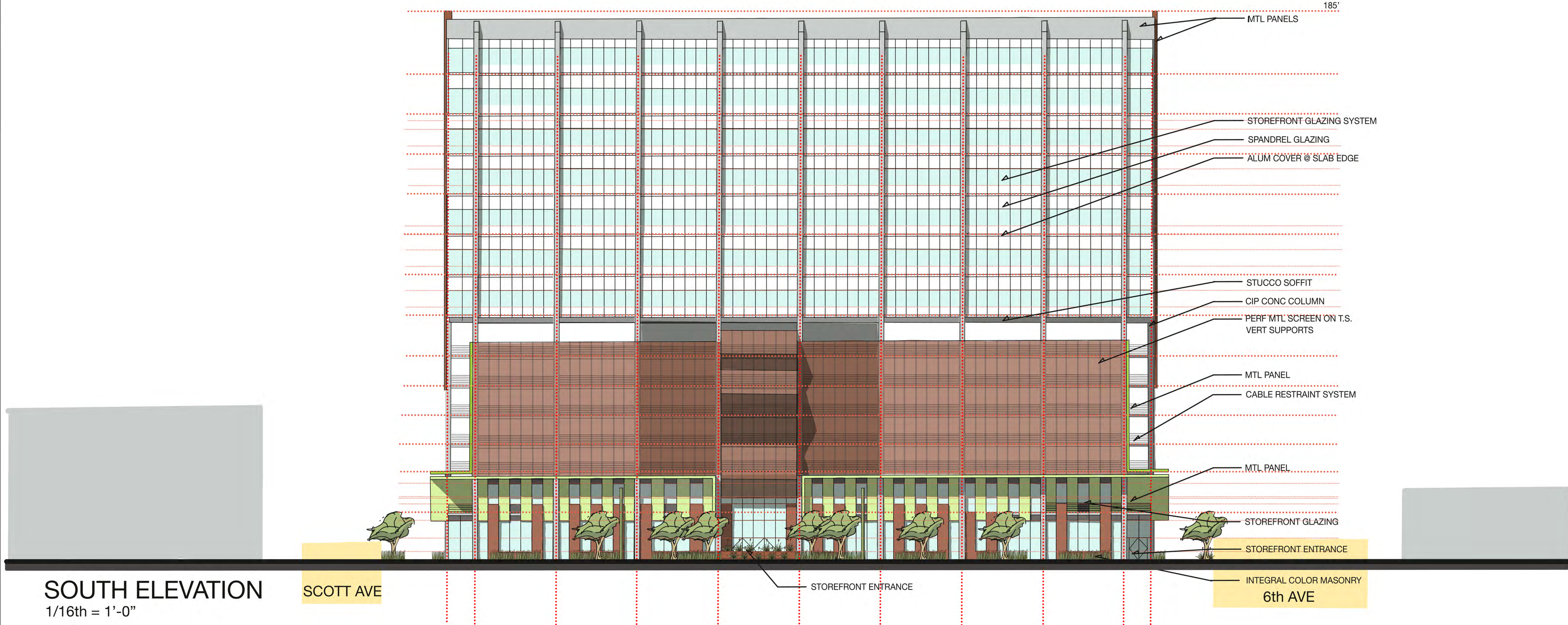
revisions

**75 BROADWAY**  
CORE & SHELL  
75 E. Broadway Blvd.  
Tucson, AZ 85701

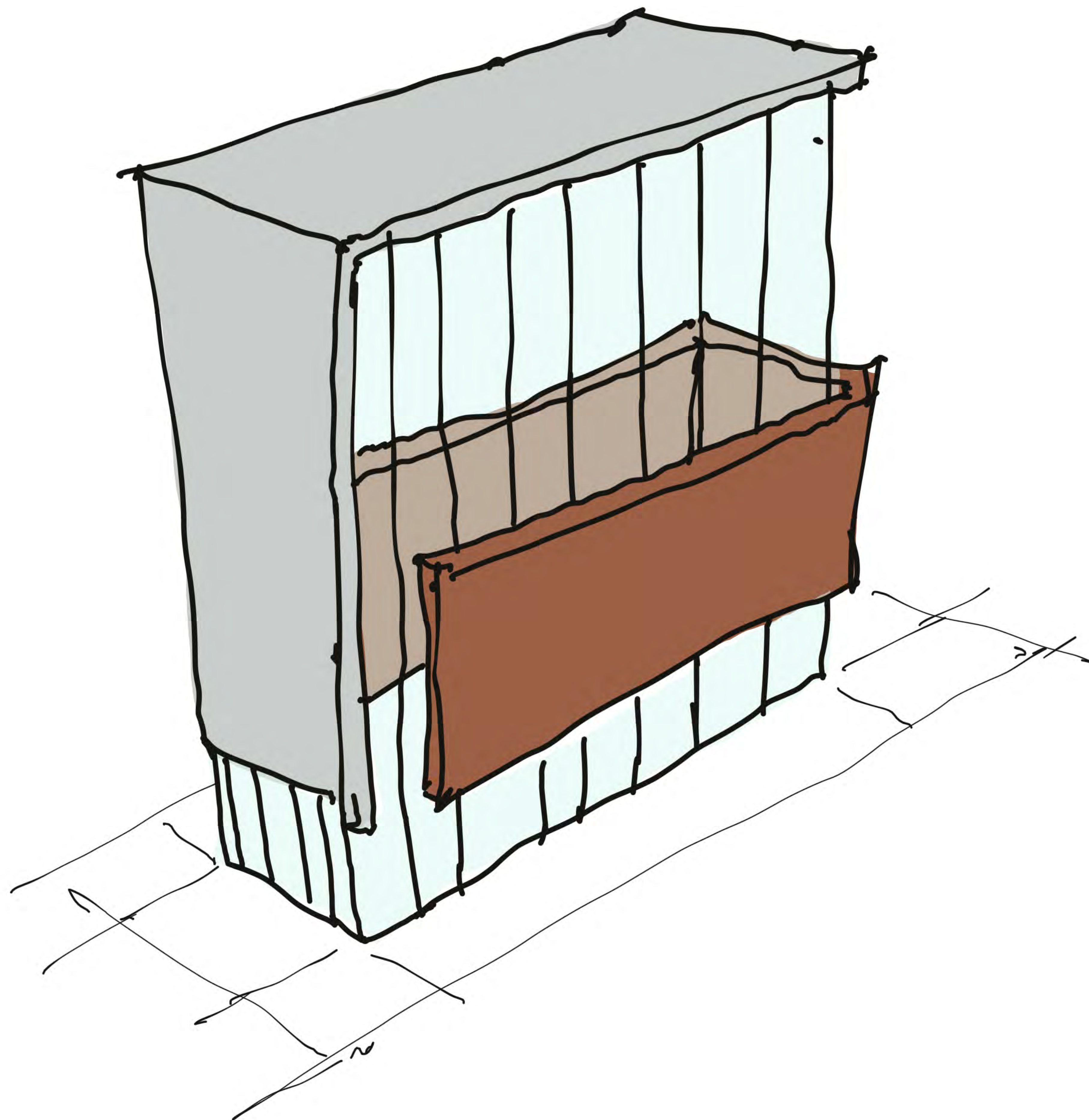
building elevations

a4.1

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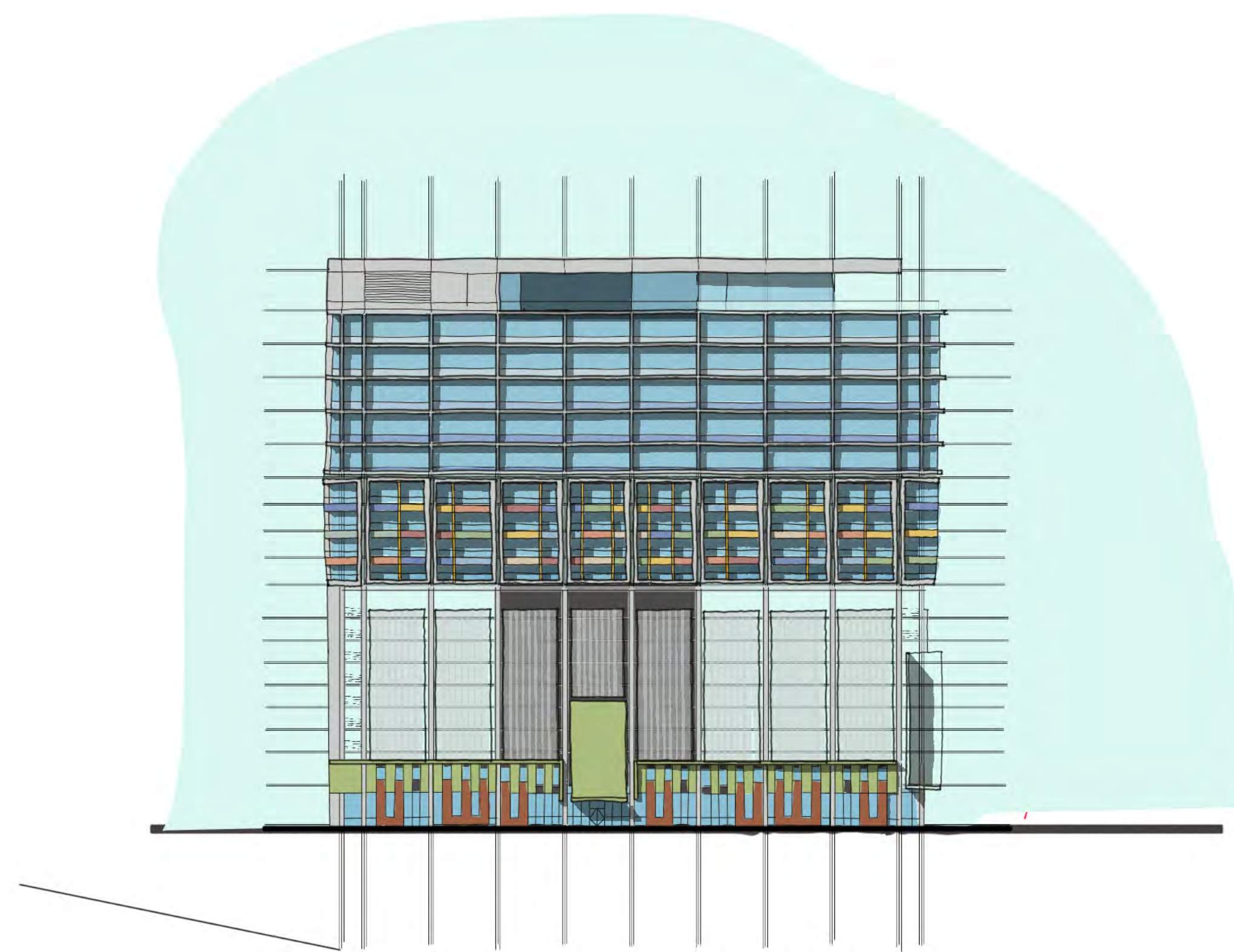
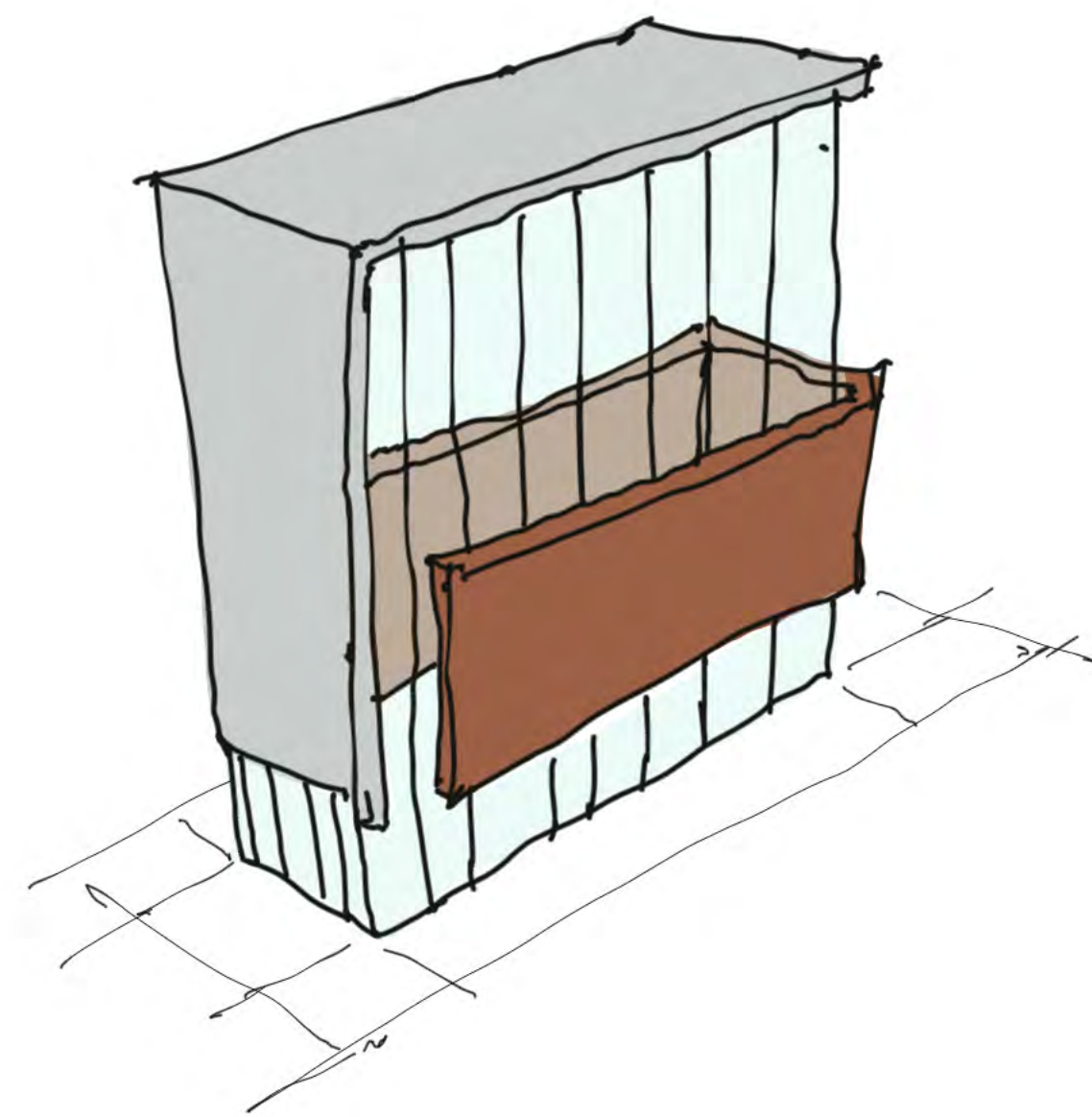




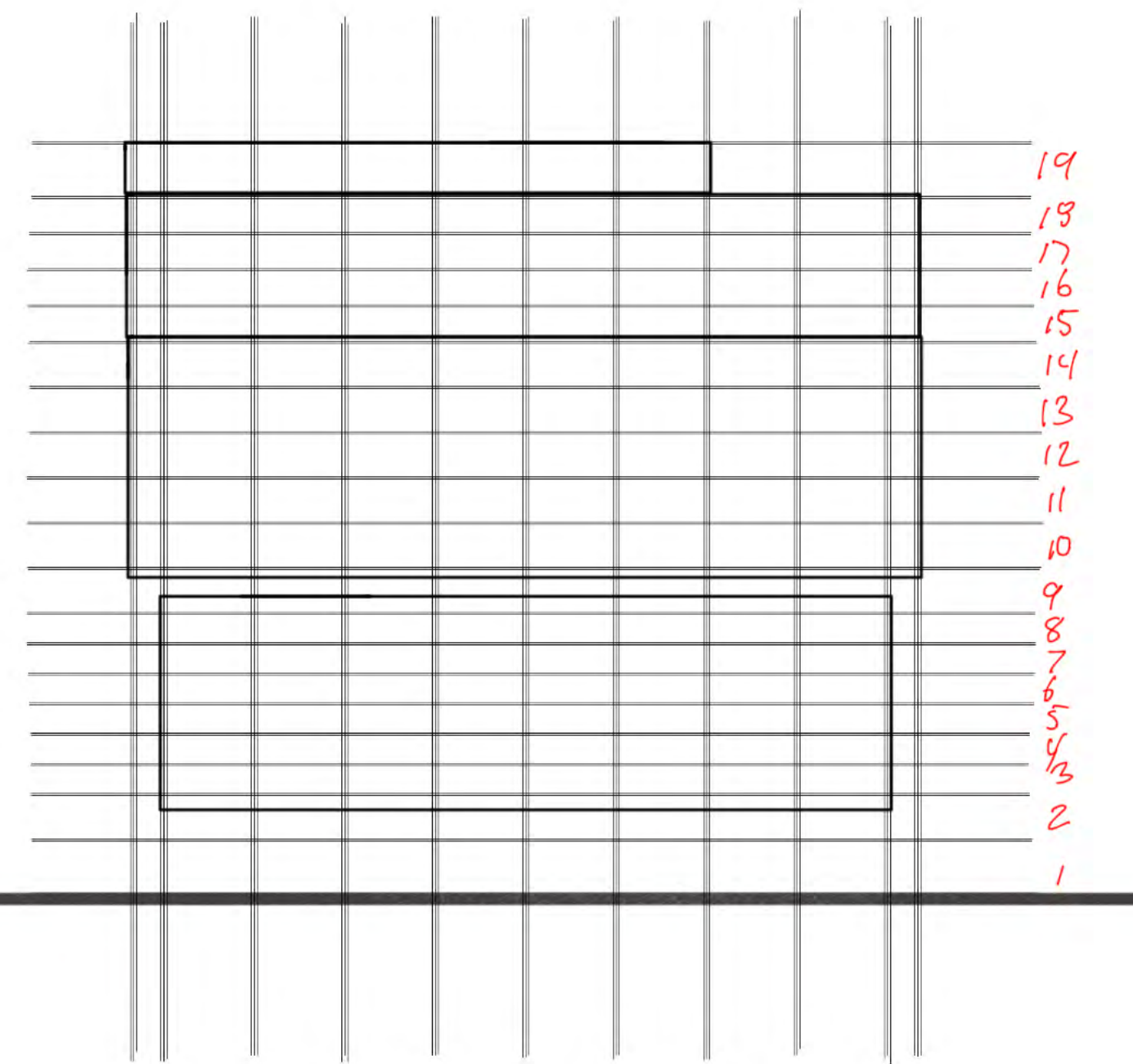
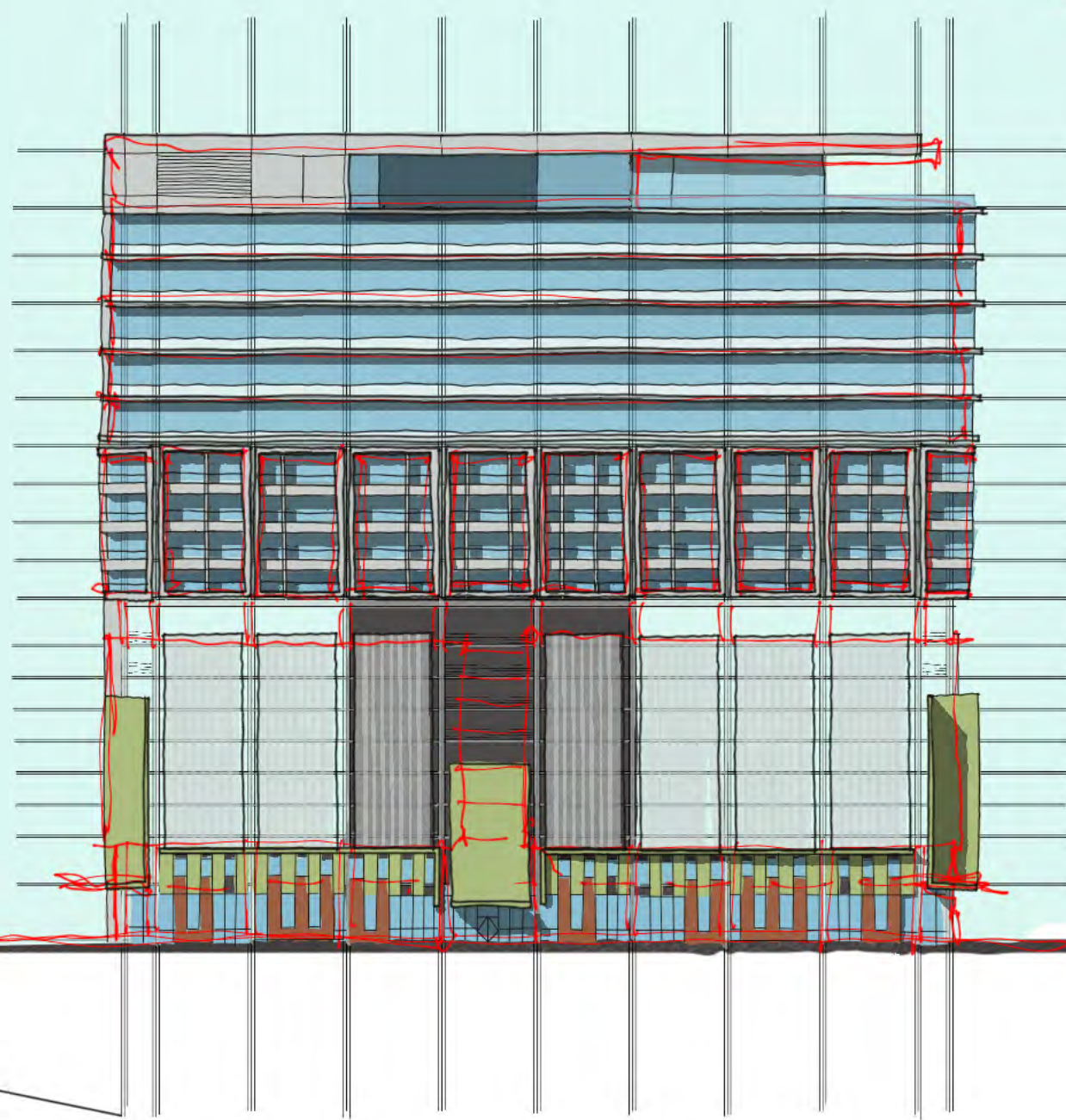
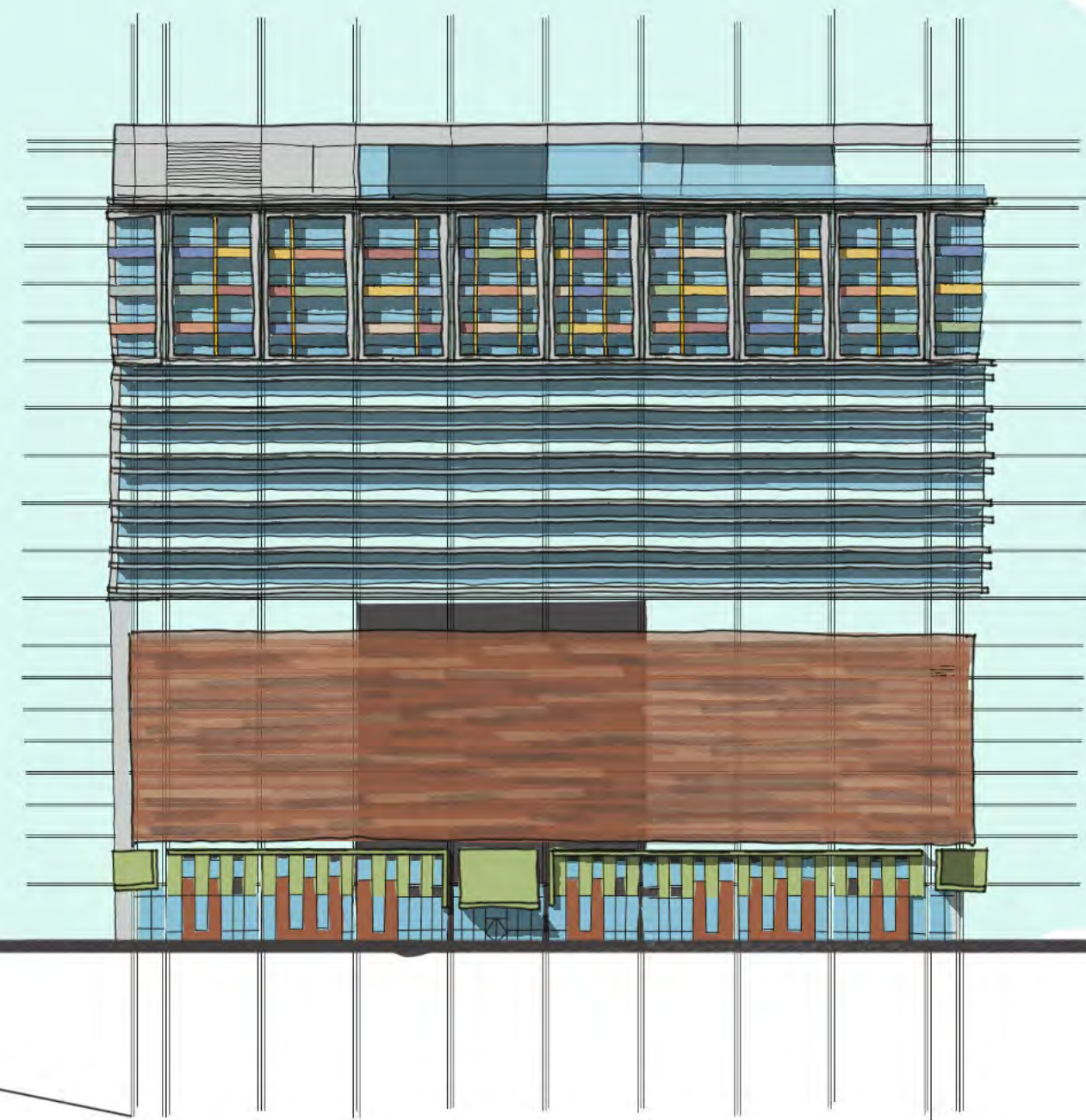
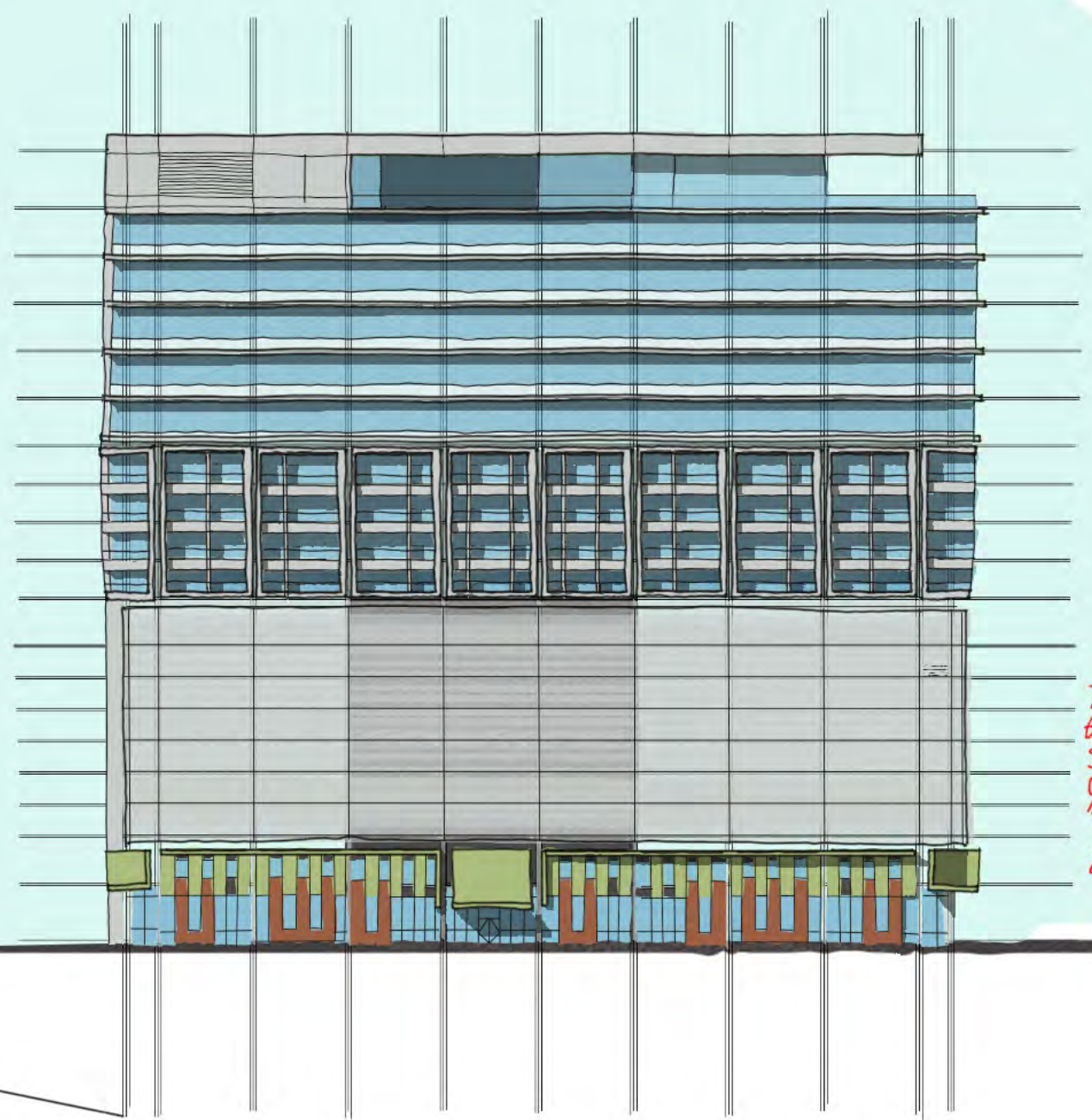


CONCEPT SKETCH



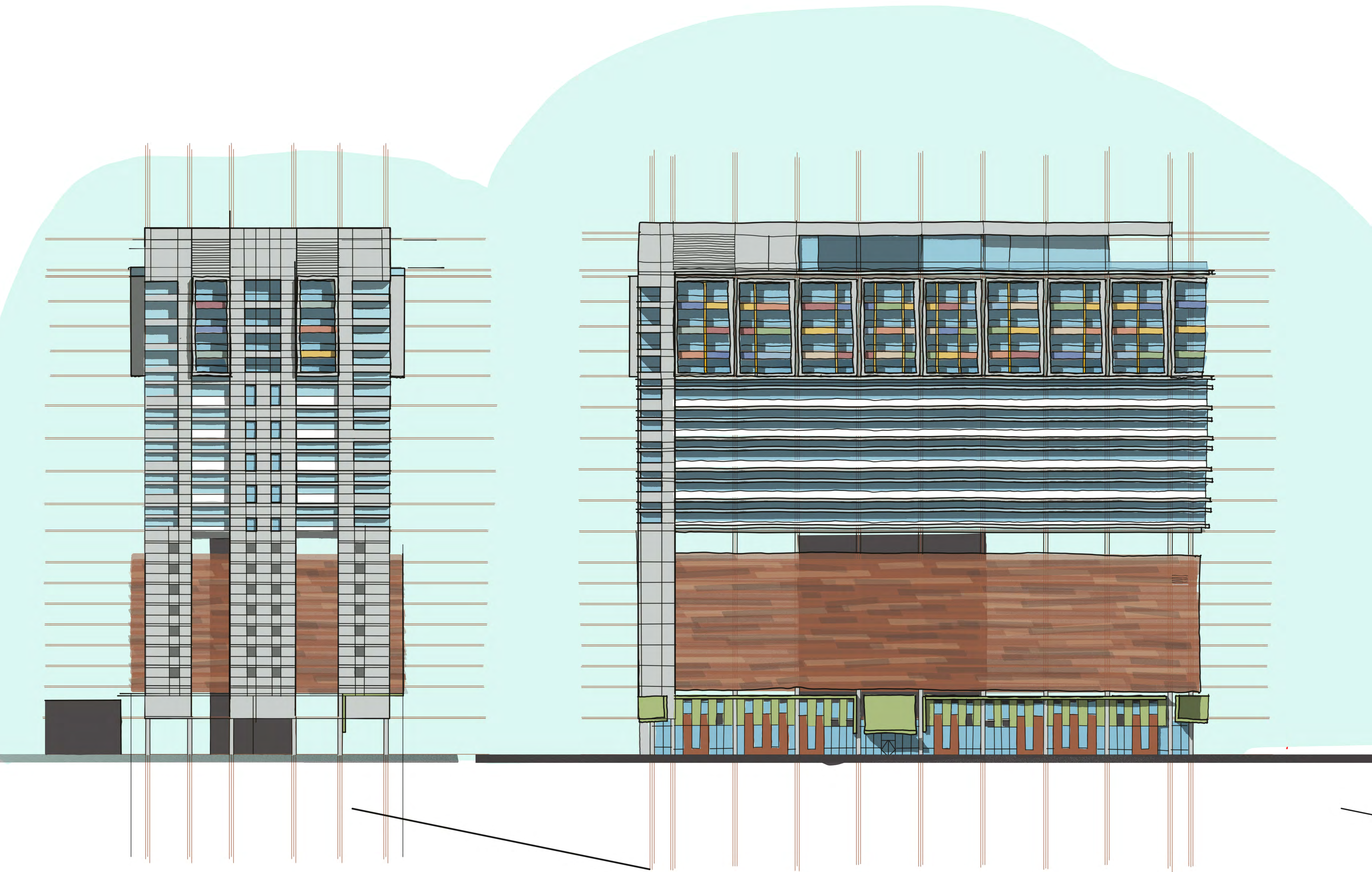


Le Corbusier's Architectural Polychromy



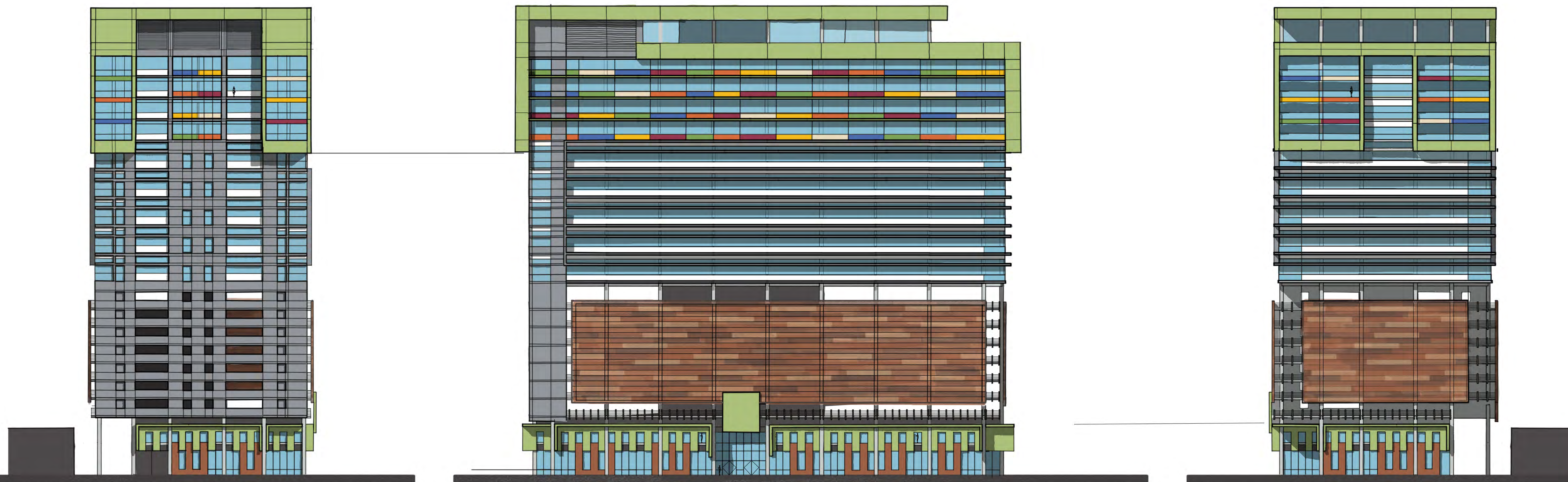
DESIGN EVOLUTION





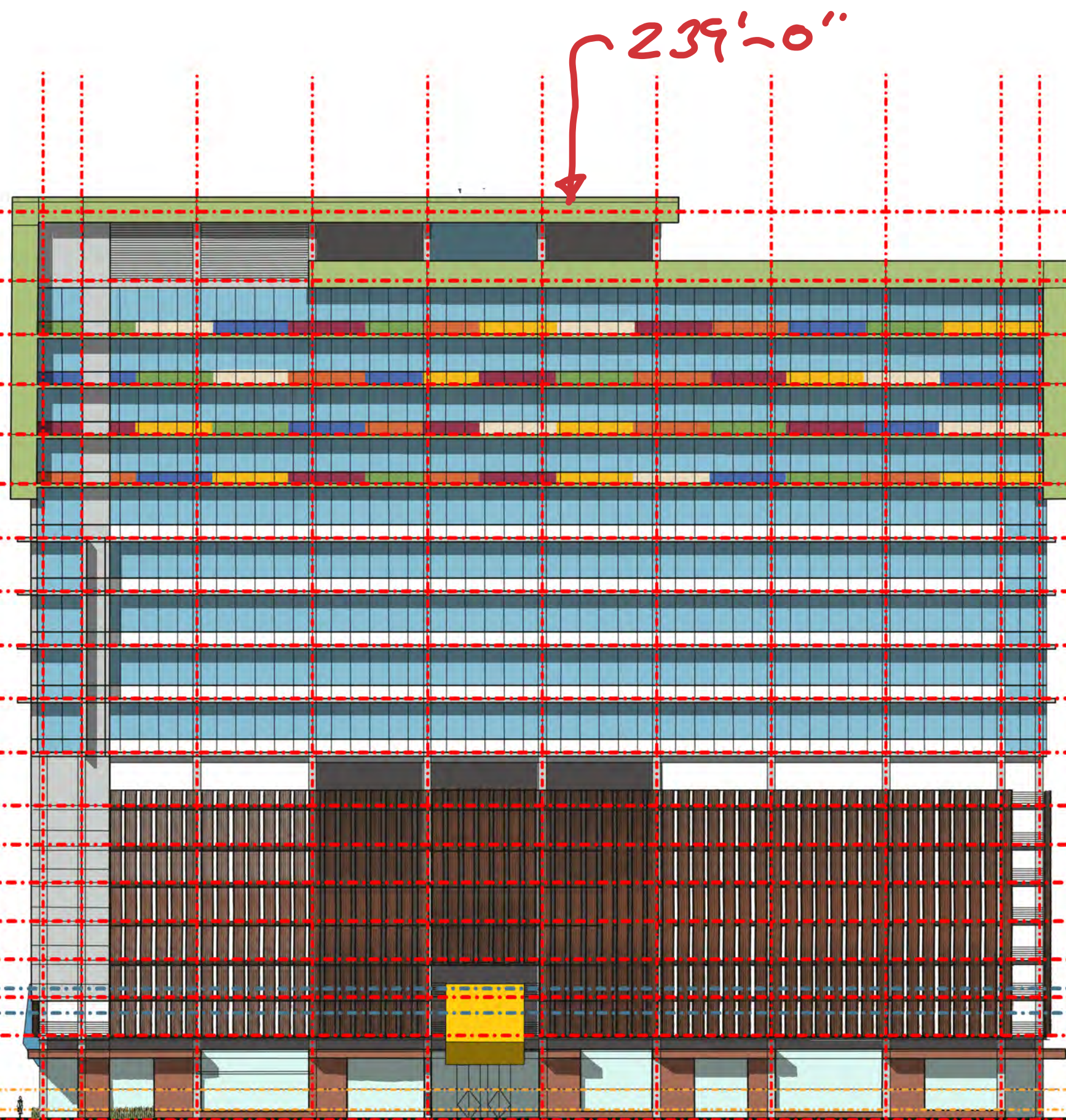
REVISION #1





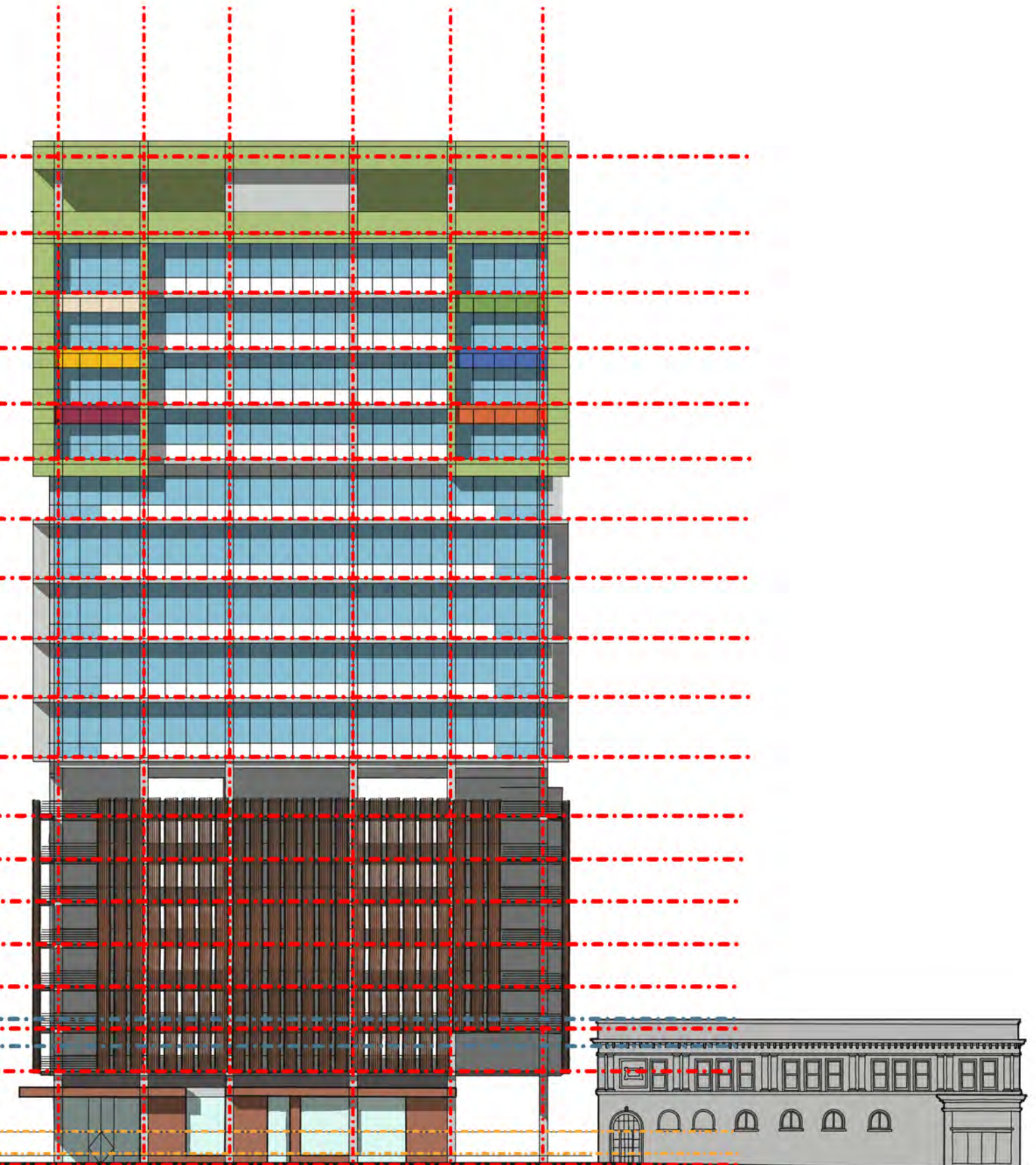
Revision # 2





SOUTH ELEVATION  
BROADWAY

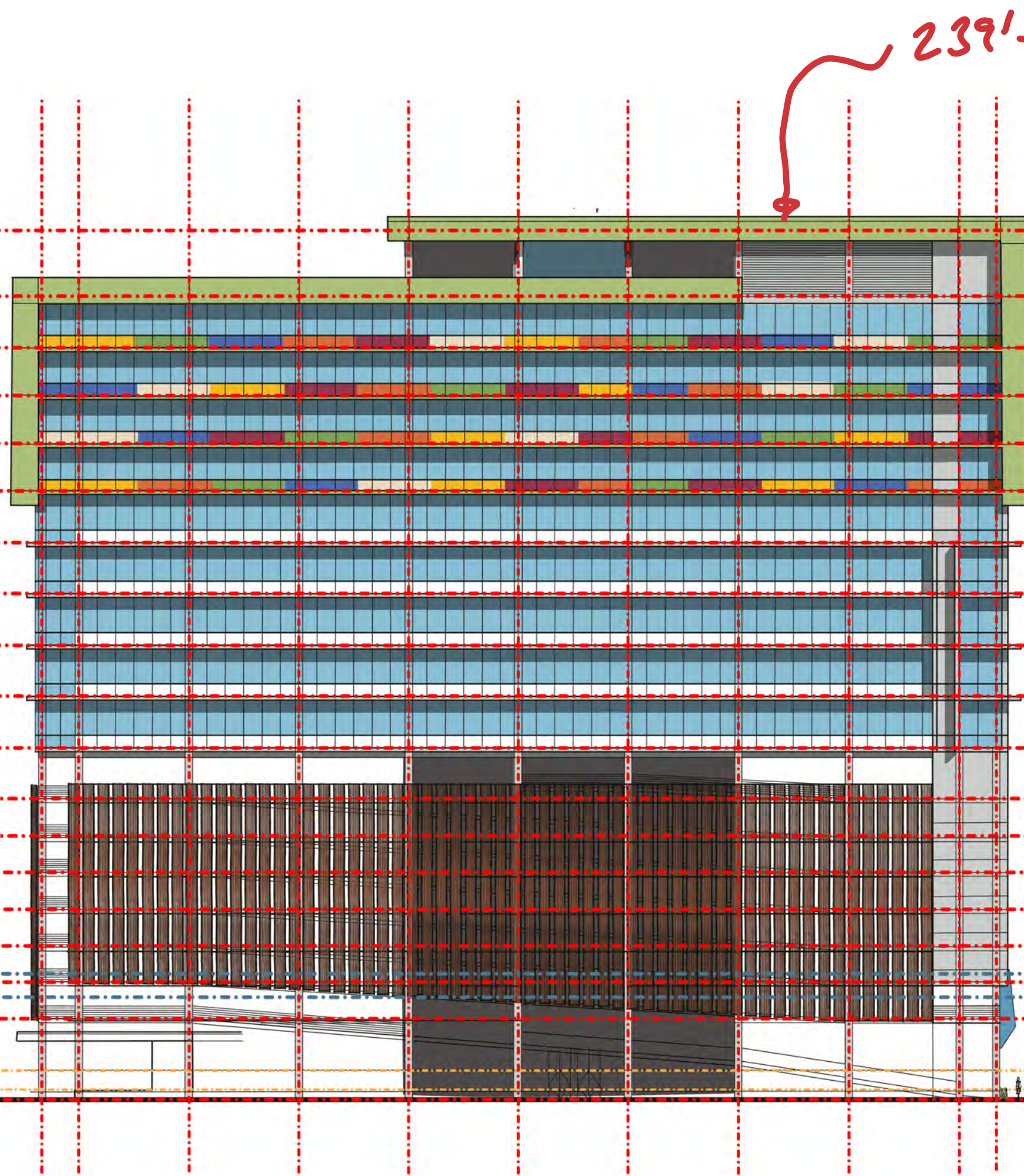
- 18
- R4
- R3
- R2
- R1
- O5
- O4
- O3
- O2
- O1
- P7
- P6
- P5
- P4
- P3
- P2
- P1
- REDM



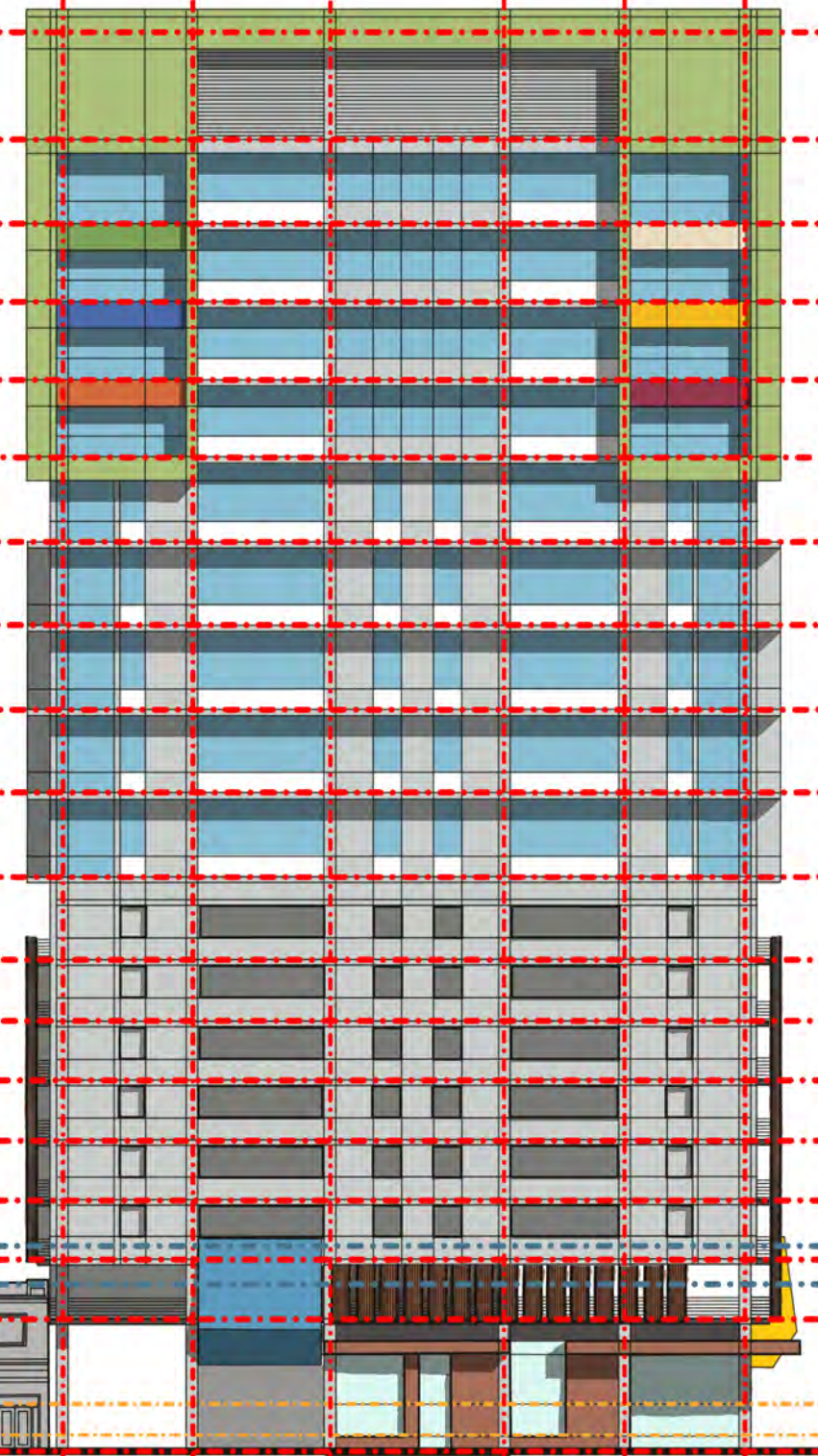
EAST ELEVATION  
6TH AVE

REVISION #3





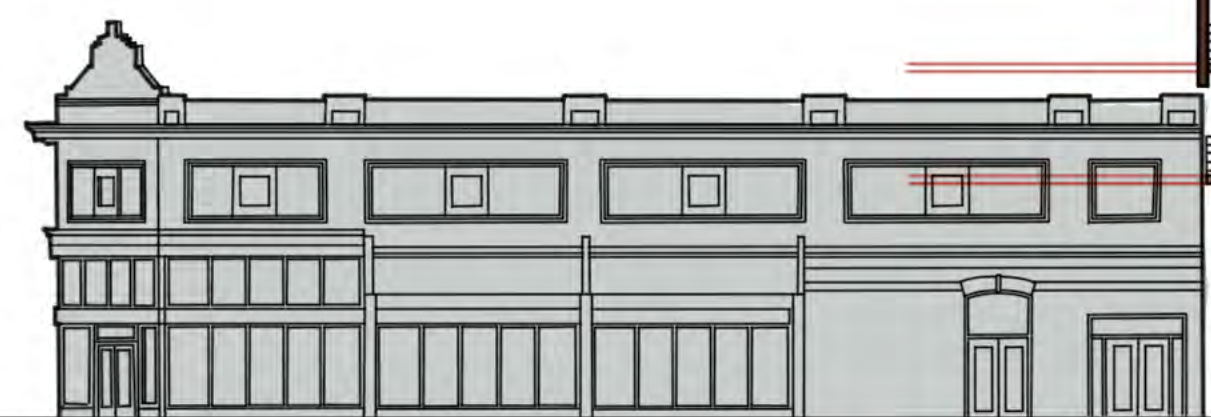
NORTH ELEVATION  
ALLEY



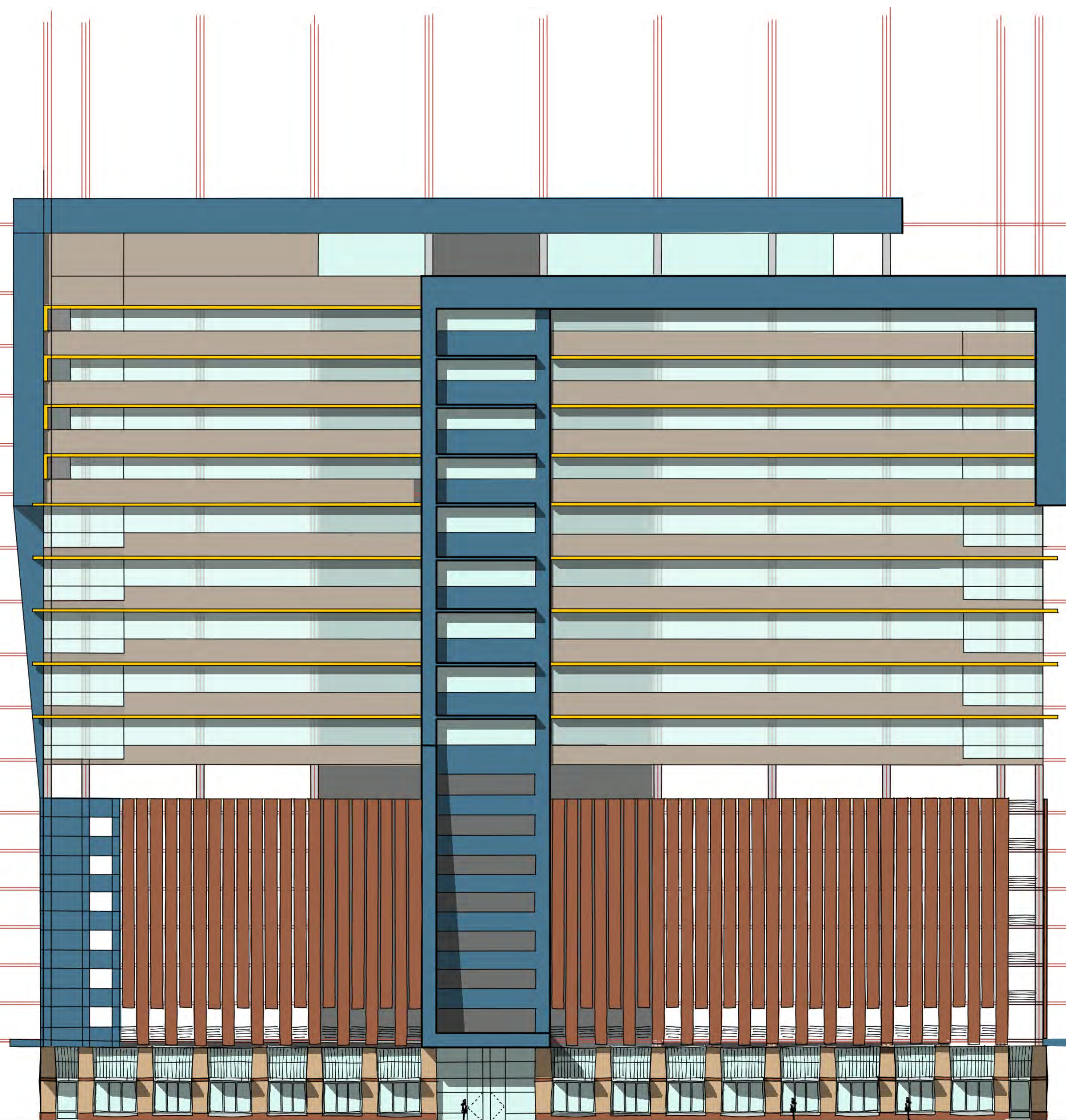
WEST  
ELEVATION  
SCOTT AVE

REVISION #3





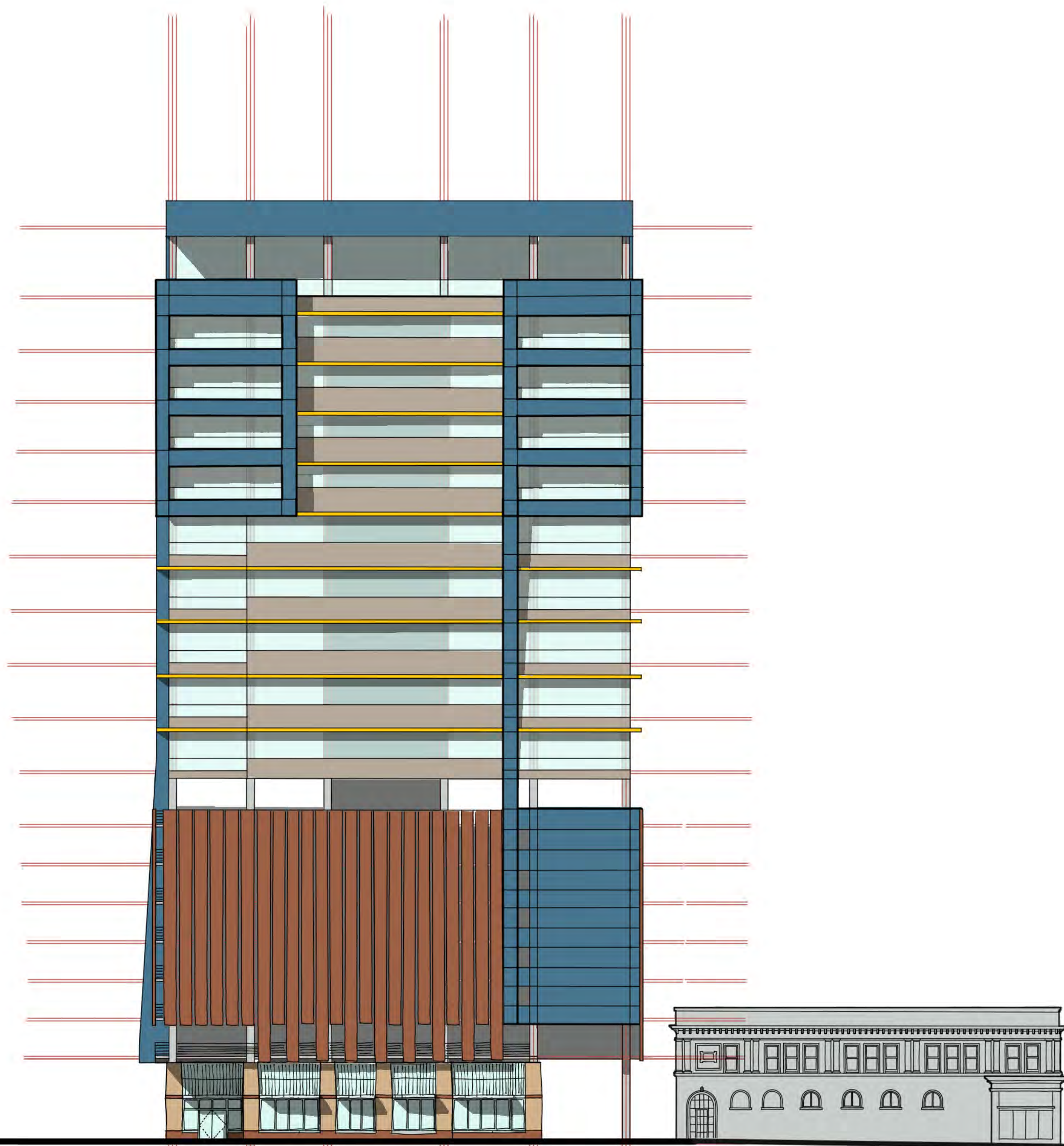
WEST  
SCOTT AVE



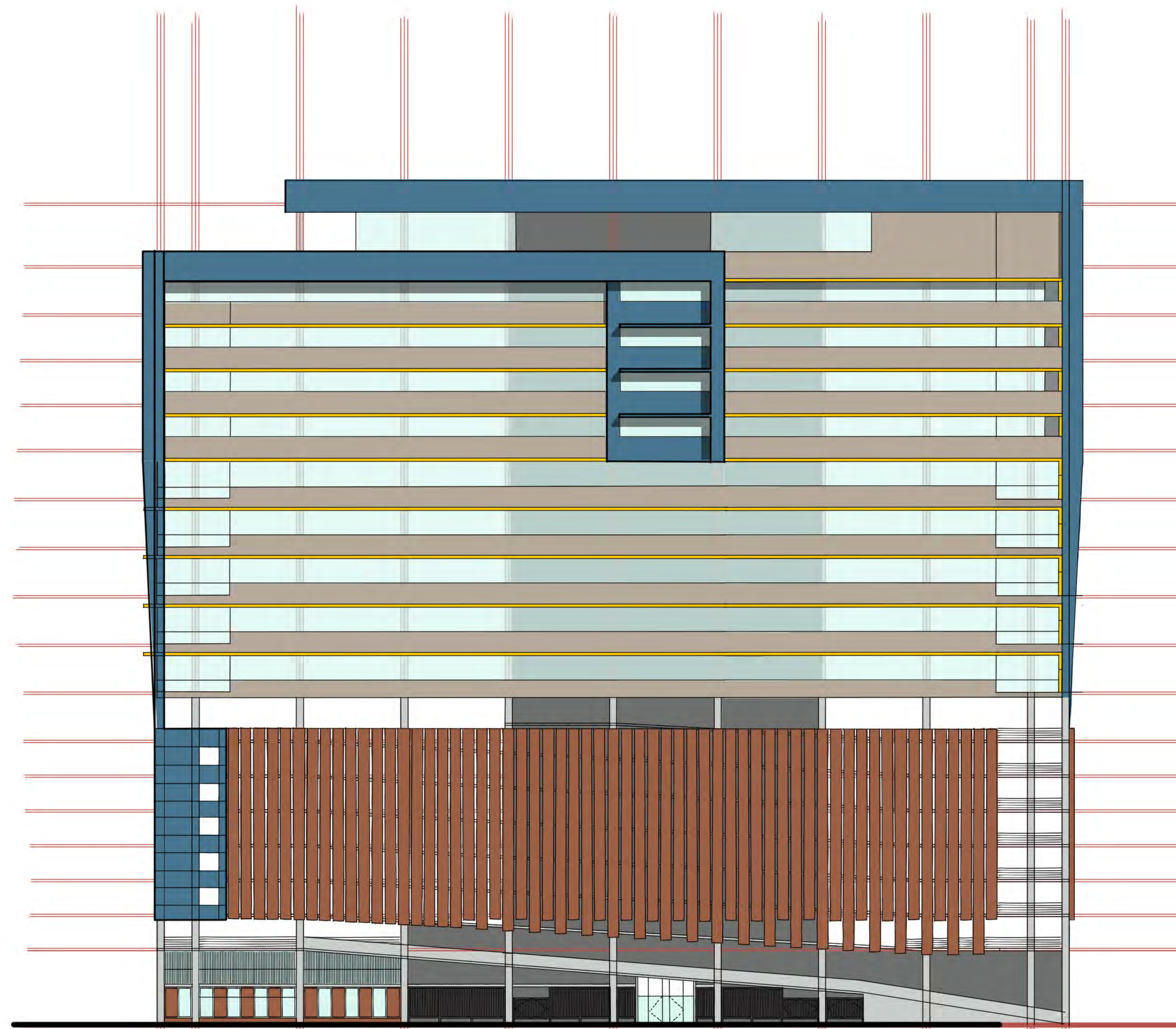
SOUTH  
BROADWAY

CURRENT PROPOSAL





EAST  
6<sup>TH</sup> AVE



NORTH  
ALLEY